



**Preliminary Subdivision
Application
Delaware County, Ohio**
(for unincorporated areas only)

RPC Sketch Plan Number _____
RPC Number _____
(RPC Staff will assign)

| | | |
|-------------------------------|--|--------------------------|
| PROJECT | Walton CAD on Lawrence Road | (circle one) Residential |
| TOWNSHIP | | |
| APPLICANT/ CONTACT | Name Caleb Wade | Phone [REDACTED] |
| | Address 444 Columbus Rd Ste B | E-mail [REDACTED] |
| | City, State, Zip Mount Vernon, OH, 43050 | |

| | | |
|---------------------------|--------------------------------------|-------------------|
| PROPERTY OWNER | Name Jon M & Monica L Walton | Phone [REDACTED] |
| | Address 1621 Lawrence Rd | E-mail [REDACTED] |
| | City, State, Zip Delaware, OH, 43015 | |

| | | |
|-------------------------------|--------------------------------------|-------------------|
| SURVEYOR/ ENGINEER | Name Nathan Harrington | Phone [REDACTED] |
| | Address 5659 Greystone Lane | E-mail [REDACTED] |
| | City, State, Zip Hilliard, OH, 43026 | |

| | | |
|-----------------|--|--|
| LOCATION | (circle one) N side of Lawrence Road Road/Street | |
| | approx. 2,855' feet W of SR 203 Road/Street | |

| | | | | |
|----------------|-------------------------|-------------|-------------------|--------------------|
| DETAILS | Is a CAD involved? yes | | | |
| | Current Land Use | Residential | Del-Co Water | yes |
| | Current Zoning District | FR-1 | Private wells | yes |
| | Buildable lots | 2 | Sanitary Sewer | no |
| | Non-buildable | 0 | Electric Provider | |
| | Total Acreage | 9.060 | Gas Provider | |
| | Open Space Acreage | | School District | Buckeye Valley LSD |

| | | |
|---|---|--|
| SUBMISSION REQUIREMENTS (Sub. Regs. Section 204.02) | 4 Folded full-size copies of the Preliminary Plan, indicating Utility and Grading , and one 11" x 17" copy; | |
| | Other Preliminary Engineering components shall be provided electronically to DCEO. | |
| | PLEASE NOTE: DCEO does not require a separate Preliminary Engineering submission for Common Access Driveways, unless part of a larger subdivision. | |
| | Preliminary Plan in digital format (GIS preferred), Preliminary Waters of the US Report Summary in digital format (pdf preferred); | |
| | PDF of plat, on media or preferably e-mailed to smatlack@co.delaware.oh.us | |
| | Confirmation of receipt (via transmittal form or e-mail) of any additional required information submitted to the Sanitary Engineer's office, and the Health District (if applicable, including the Soil Scientist Report); | |
| | Fee - \$500 base, plus \$110 per build lot, CADs require additional fees; For commercial and multi-family - \$500 base, plus \$110 per acre; (Refer to Fee Schedule for Soil and Water and Health fees) \$ <u>1470</u> | |

1/30/2026

Owner (or agent for owner) and Date

PLANS PREPARED FOR:
Brack Engineering
 NATHAN HARRINGTON
 5659 GREYSTONE LN
 HILLIARD, OH 43026
 P: 614.506.3662

GENERAL SUMMARY

SITE ADDRESS: 1621 LAWRENCE ROAD, DELAWARE OHIO 43015

PARCEL: PID: 52016001075000

CURRENT ZONING: FR-1 - FARM RESIDENTIAL DISTRICT

SETBACKS: BUILDINGS

FRONT: 50'
REAR: 80'
SIDE: 25'

PROPERTY DESCRIPTION

ORIGINAL AREA: 9.061 AC.
 PROPOSED NUMBER OF LOTS: 2
 LOT # 1 2.070 AC.
 LOT # 2 (PARENT TRACT) 6.991 AC. (AREA EXCLUDING LAWRENCE RD. R/W & CAD ESMR = 5.899 AC.)
 LAWRENCE ROAD R/W (30') 0.042 AC.
 TOTAL 9.061 AC.

DEVELOPMENT/ GROSS DENSITY 0.22 DWELLING UNITS/ ACRE (2 LOTS / 9.061 AC.)
 CAD EASEMENT 1.050 AC.
 STATE ROUTE 61 R/W (30') 0.041 AC.
 NET AREA 7.969 AC. (EXCLUDING ALL EASE. & ROW)
 NET DENSITY 0.25 DWELLING UNITS/ ACRE
 AREA DISTURBED 0.10 AC. NOI# - N/A

BASIS OF INFORMATION

ALL EXISTING CONDITIONS, TOPOGRAPHY, UTILITIES, & EASEMENTS ARE AS TAKEN FROM A SURVEY PROVIDED BY BLUE CHURCH SURVEYING, SITUATED IN SUNBURY, DELAWARE COUNTY, OHIO, DATED 12-27-2025.

PECK SURVEYING
 614-348-9503
 PECKSURVEYING@GMAIL.COM

PER INFORMATION PROVIDED BY THE SURVEYOR: BEARINGS SHOWN ARE BASED UPON STATE PLAN COORDINATE GRID (OHIO NORTH 1983) DERIVED FROM GPS OBSERVATION.

FLOODPLAIN DATA

PANEL:39041C0085L
 EFFECTIVE DATE: 12/21/2023
 ZONE X: AREAS DETERMINED TO BE OUTSIDE OF THE 0.2% ANNUAL CHANCE FLOODPLAIN.
 FLOOD ZONE X: AREAS OF 0.2% ANNUAL CHANCE FLOOD (500 YEAR), AREAS OF 1% ANNUAL CHANCE FLOOD (100 YEAR) WITH AVERAGE DEPTHS OF LESS THAN 1 FOOT OR WITH DRAINAGE AREAS LESS THAN 1 SQUARE MILE, AND AREAS PROTECTED BY LEVEES FROM 1% ANNUAL CHANCE FLOOD.

DEVELOPMENT CONTACTS

PLANNING & ZONING

DELAWARE REGIONAL PLANNING
 109 N SANDUSKY STREET
 DELAWARE, OH 43015
 SCOTT SANDERS

740-833-2260

SANITARY SEWER

DELAWARE CO. SANITARY ENGINEER
 50 CHANNING STREET
 DELAWARE, OH 43015
 PH: 740-833-2240

SOIL & WATER

DELAWARE SWCD
 557 SUNBURY ROAD #A
 DELAWARE, OH 43015
 PH: 740-368-1921

WATER

DEL-CO WATER COMPANY INC
 6658 OLENTANGY RIVER RD.
 DELAWARE, OH 43015
 CRIS VALENZUELA
 PH: 740-548-7746 X 2402

ENGINEERING

DELAWARE CO. ENGINEERING
 50 CHANNING STREET
 DELAWARE, OH 43015
 CHRIS BAUSERMAN, PE, PS
 PH: 740-833-2400

SURVEYOR

PECK SURVEYING
 JASON PECK

PLANNER

A TO ZONING
 COURTNEY WADE

OWNER/ DEVELOPER

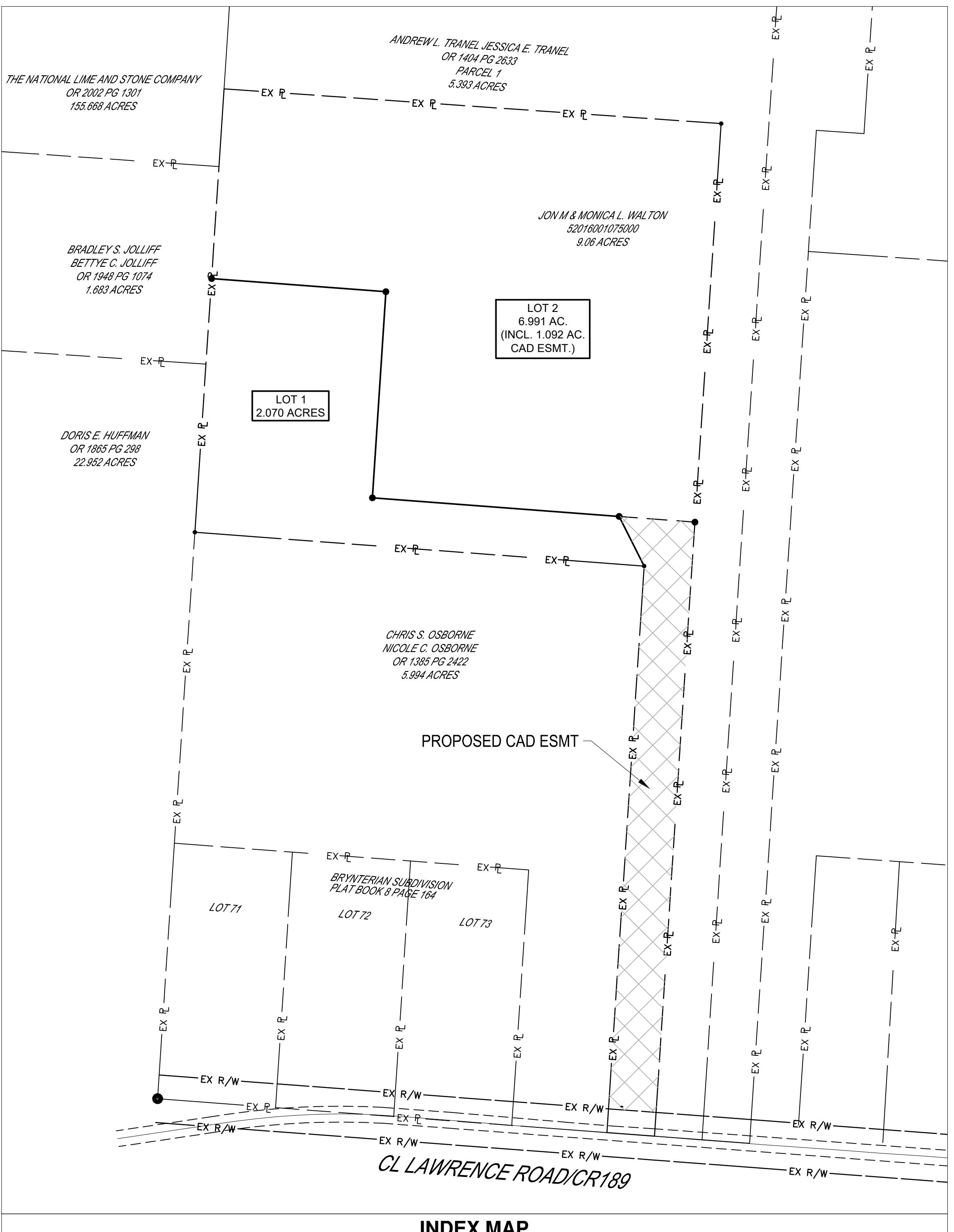
JON & MONICA WALTON

SOILS

SOIL & ENVIRONMENTAL CONSULTING
 SERVICES, INC
 P.O. BOX 1121
 DELAWARE, OHIO 43015
 STEVEN MILLER
 E: SOILCONSULTANT@GMAIL.COM

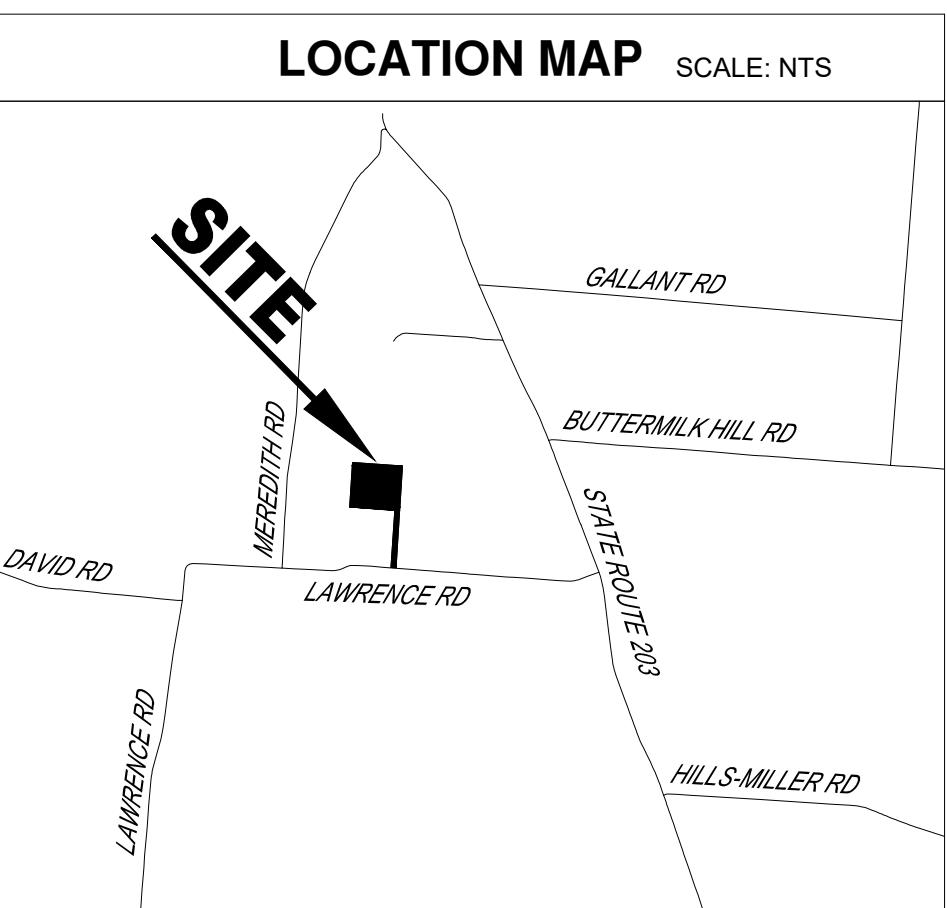
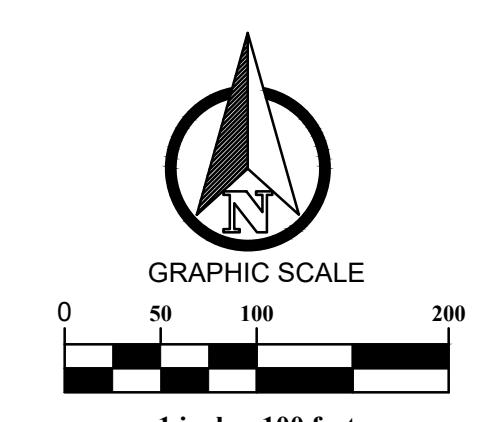
PRELIMINARY DEVELOPMENT PLANS FOR
WALTON CAD

STATE OF OHIO, DELAWARE COUNTY, RADNOR TOWNSHIP
 RANGE 20, TOWNSHIP 5, SECTION 1, FARM LOT 13



INDEX MAP

| CHANGE ORDER SCHEDULE | | | | | | |
|-----------------------|----------|----------------|-----------------------|-----------|----------|------------------|
| CHANGE | PREPARED | DATE OF CHANGE | DESCRIPTION OF CHANGE | SHEET NO. | APPROVED | DATE OF APPROVAL |
| | | | | | | |
| | | | | | | |
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| SHEET LEGEND | |
|--------------|-------------------------|
| Sheet Number | Sheet Title |
| 1 | TITLE SHEET |
| 2 | GENERAL NOTES |
| 3 | SITE PLAN |
| 4 | UTILITY PLAN |
| 5 | GRADING & DRAINAGE PLAN |
| 6 | SIGHT DISTANCE EXHIBIT |

VARIANCES
 VARIANCE REQUESTED FOR RUNOFF RATES PER
 ARTICLE IX. REQUEST DUE TO THE MINOR AFFECT TO
 THE OVERALL DRAINAGE.

DATE APPROVED: _____

TITLE SHEET

WALTON CAD

1621 LAWRENCE ROAD, DELAWARE OHIO 43015

REVISIONS
 NO. DATE DESCRIPTION

DATE:
 01/29/2026

JOB NO.: 2026-05

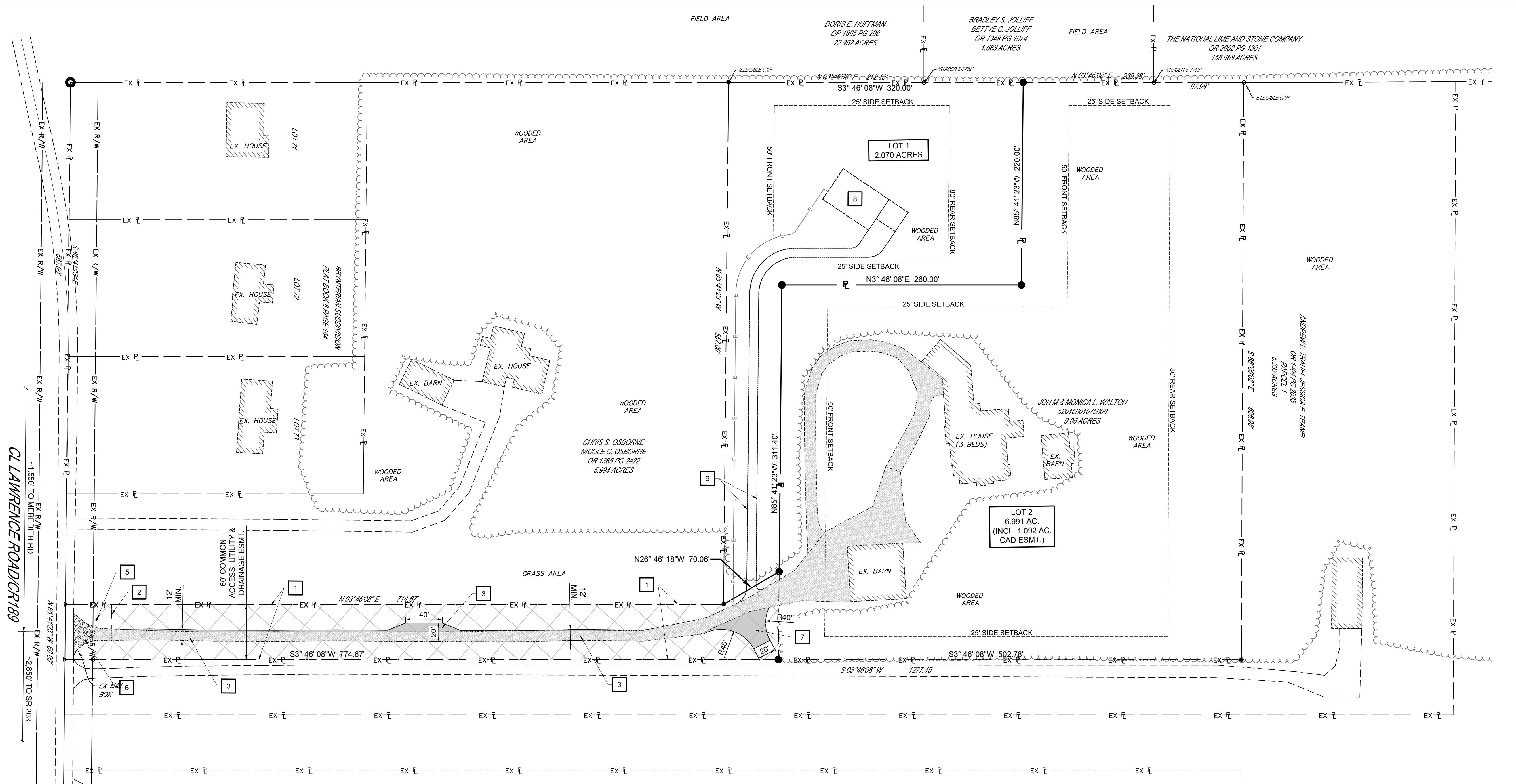
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SHEET NO.

Ohio Utilities Protection
 Service

Call Before You Dig
 800-362-2764 or 8-1-1
 www.outps.org



GENERAL NOTES:

ENVIRONMENTAL HEALTH

THE OWNERS, THEIR SUCCESSORS, HEIRS OR ASSIGNS OF THE HEREIN DELINEATED LOTS AGREE SAID LOT(S) SHALL BE CONNECTED TO SAID CENTRAL SEWER. ACCEPTANCE OF TITLE TO A DELINATED LOT SHALL CONSTITUTE WAIVER OF FURTHER NOTICE OF HEARING ON THIS REQUIREMENT. THIS COVENANT SHALL BE INCLUDED TO TITLE FOR SAID LOT(S). ALL FEES AND COST ASSOCIATED WITH THE CONNECTION TO CENTRAL SEWER ARE THE RESPONSIBILITY OF THE HOMEOWNER AT THE TIME OF INSTALLATION AND CONNECTION.

THE PROPOSED SEWAGE TREATMENT SYSTEM (STS) AREA(S) COMPLIES WITH §3701-29 OF THE OHIO ADMINISTRATIVE CODE. DEPICTED STS FIELDS ASSUMED MOUND SYSTEM ON LOT 1. STS HAVE BEEN EVALUATED AS A SEPTIC TANK WITH AERATOR TO MOUND SYSTEM DESIGN. ALTERNATIVE DESIGNS MAY BE FEASIBLE AS DEEMED APPROPRIATE BY THE DESIGNER AND/OR DGH. DESIGNER PLAN FOR SEPTIC SYSTEM MUST BE APPROVED BY THE DGH. DRIVEWAY AND UTILITY LOCATIONS THROUGH LOTS ARE NOT TO RUN OVER PROPOSED SEWAGE TREATMENT AREAS (PRIMARY OR SECONDARY) UNLESS ALTERNATIVE AREAS ARE APPROVED BY THE DGH. TREES FALLING WITHIN STS AREA(S) MUST BE CLEAR-CUT BEFORE INSTALLATION.

PRIOR TO ANY ADDITIONAL BUILDINGS ON THE SITE, THE OWNER MUST COORDINATE WITH THE DGH TO DETERMINE THAT THE APPROVED ON-SITE STS AREA (PRIMARY & SECONDARY) ARE COMPATIBLE WITH THE OWNERS DESIRED CONSTRUCTION AND EXCAVATION PLANS. DEPENDING ON FINAL HOUSE AND PLUMBING ELEVATIONS, PUMPS MAY BE REQUIRED FOR DELIVERING SEWAGE EFFLUENT TO STS AREAS.

SOIL REPORT BY STEVE MILLER (WITH SOIL AND ENVIRONMENTAL CONSULTING SERVICES INC.) OCTOBER 8, 2025 ON FILE AT DELAWARE GENERAL HEALTH DISTRICT.

DRAINAGE: WITHIN THE AREAS OF LAND DESIGNATED "DRAINAGE EASEMENT" AN EASEMENT IS HEREBY RESERVED FOR THE MAINTENANCE OF DRAINAGE FACILITIES, INCLUDING BUT NOT LIMITED TO DITCHES, SWALES AND SUBSURFACE DRAINAGE FOR THE BENEFIT AND USE OF THE PUBLIC. DEVELOPMENT AND FUTURE USE OF THESE LOT(S) SHALL NOT CREATE OBSTRUCTIONS TO THE FLOW OF WATER WITHIN THE EASEMENT. DRIVEWAY MAY CROSS EASEMENT IF AN APPROPRIATE CULVERT IS MAINTAINED TO ALLOW NATURAL FLOW OF WATER.

BE ADVISED: A SUBSURFACE DRAINAGE SYSTEM MAY EXIST ON THIS SITE. THE SYSTEM AND/OR OUTLET IF LOCATED ON THIS PROPERTY MUST BE MAINTAINED AT ALL TIMES.

SIGHT DISTANCE: ALL OBSTRUCTIONS WITHIN THE REQUIRED LINE OF SIGHT TRIANGLE HAVE BEEN MARKED ONSITE AND WILL BE REMOVED DURING CONSTRUCTION, PER COUNTY ENGINEER'S REQUEST.

EASEMENTS: ALL REPRESENTED EASEMENTS, NOT PREVIOUSLY RECORDED, WILL BE RECORDED WITH THE DELAWARE COUNTY RECORDER'S OFFICE BEFORE OR AT THE TIME THIS LOT SPLIT IS RECORDED.

CAD MAINTENANCE: A COMMON ACCESS DRIVEWAY MAINTENANCE AGREEMENT WILL BE RECORDED PRIOR TO FINAL PLAT BEING RECORDED. THE DRIVE SHALL BE BUILT IN ACCORDANCE WITH SUBSEQUENTLY APPROVED ENGINEERING PLANS INCLUDING THE PICTURED CAD SIGN.

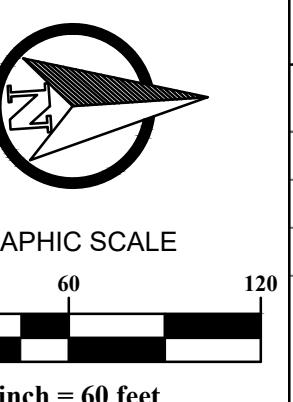
CRITICAL RESOURCES: THERE ARE NO KNOWN CEMETERIES, HISTORICAL SITES OR ARCHEOLOGICAL SIGNIFICANCE ON SITE OR WITHIN 200 FEET OF IT'S BOUNDARIES. A PRELIMINARY REPORT OF THE WATERS OF THE UNITED STATES WAS COMPLETED BY MATT KAMINSKI (WITH CENTRAL OHIO WETLAND CONSULTING, LLC) OCTOBER 2025. INDICATED A POTENTIAL WETLAND AREA ON THE NORTH SIDE OF THE SITE. THIS AREA HAS BEEN SHOWN ON THE PLANS.

KEYED NOTES

- 1 PROPOSED 60' COMMON ACCESS, UTILITY AND DRAINAGE EASEMENT
- 2 PROPOSED 20' SANITARY EASEMENT
- 3 EXISTING GRAVEL DRIVE TO REMAIN. CONTRACTOR TO EXPAND DRIVE WIDTH TO 12' MINIMUM AND VERIFY EXISTING GRAVEL SECTION MEETS DEPTH REQUIREMENTS PER DETAIL ON SHEET 2.
- 4 EXISTING DRIVE TO BE WIDENED FOR BYPASS AREA. BYPASS AREA TO BE A MINIMUM OF 20' WIDE X 40' LONG. SEE PLAN FOR LOCATIONS. SEE DETAIL SHEET 2 FOR MINIMUM GRAVEL DEPTH.
- 5 PROPOSED PRIVATE DRIVE SIGN. SEE EXAMPLE ON SHEET 2
- 6 EXISTING GRAVEL DRIVEWAY APPROACH WITHIN ROW TO BE A PAVED. SEE TYPICAL SECTIONS FOR PAVEMENT OPTIONS.
- 7 PROPOSED T-TURNAROUND. SEE GRAVEL SECTION ON SHEET 2.
- 8 POTENTIAL FUTURE HOUSE (BY OTHERS). FINAL LOCATION TO BE DETERMINED AT TIME OF THE BUILDING PERMIT.
- 9 POTENTIAL FUTURE DRIVE (BY OTHERS). FINAL LOCATION TO BE DETERMINED AT TIME OF THE BUILDING PERMIT.

PLAN LEGEND

| REVISIONS NO. | DATE | DESCRIPTION |
|------------------|------|-------------|
| | | |



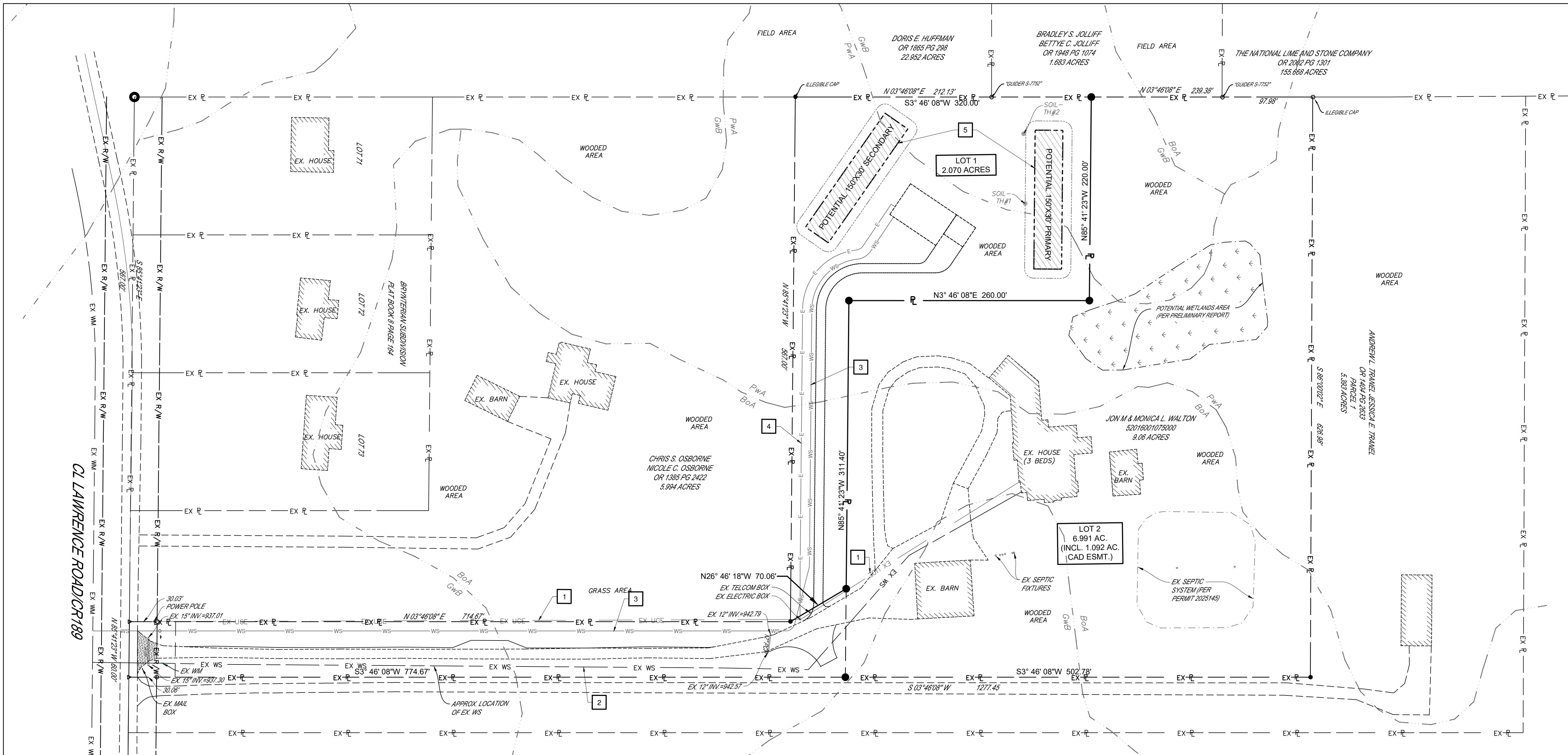
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01/29/2026
JOB NO.: 2026-05
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SHEET NO.

UTILITY PLAN

WALTON CAD

1621 LAWRENCE ROAD, DELAWARE OHIO 43015

CL LAWRENCE ROAD/CR 180



NOTE TO CONTRACTOR / FUTURE LOT OWNERS

OWNERS/ CONTRACTORS OF FUTURE LOTS SHALL CREATE POSITIVE DRAINAGE AROUND MOUND SEPTIC SYSTEMS AND ENSURE DRAINAGE IS NOT BLOCKED UPSTREAM OR PONDING OCCURS AROUND MOUND SYSTEMS .

POTENTIAL SUBSURFACE DRAINAGE SYSTEM (FIELD TILES) HAVE BEEN SHOWN ON THIS PLAN BASED ON COUNTY AERIAL PHOTOGRAPHY. ADDITIONAL TILES MAY EXIST ON THE PROPERTY THAT ARE NOT SHOWN. IF ENCOUNTERED DURING CONSTRUCTION THE SYSTEM AND/OR OUTLET SHALL BE MAINTAINED AT ALL TIMES. IT WILL BE THE CONTRACTORS/ FUTURE LAND OWNERS RESPONSIBILITY TO REPAIR, REPLACED AND/OR RE-ROUTED AS NEEDED TO MAINTAIN SYSTEM.

KEYED NOTES

- [1] APPROXIMATE LOCATION OF EXISTING ELECTRICAL SERVICE TO EXISTING HOUSE. CONTRACTOR TO PROTECT IN PLACE.
- [2] APPROXIMATE LOCATION OF EXISTING WATER SERVICE TO EXISTING HOUSE. CONTRACTOR TO PROTECT IN PLACE.
- [3] POTENTIAL FUTURE WATER SERVICE LINE (BY OTHERS)
- [4] POTENTIAL FUTURE ELECTRIC SERVICE LINE (SERVICE LAYOUT AND LOCATION TO BE DESIGNED BY OTHERS)
- [5] POTENTIAL PRIMARY AND SECONDARY 150'X30' STS FIELD (BY OTHERS). FINAL SIZE AND LOCATION TO BE DETERMINED BY FUTURE LAND OWNER. DISPOSAL SYSTEMS SHALL NOT VIOLATE OAC 3701-29. STS FIELDS TO BE 10' FROM ANY PROPERTY LINE OR EASEMENT AND 50' FROM WATER COURSE.

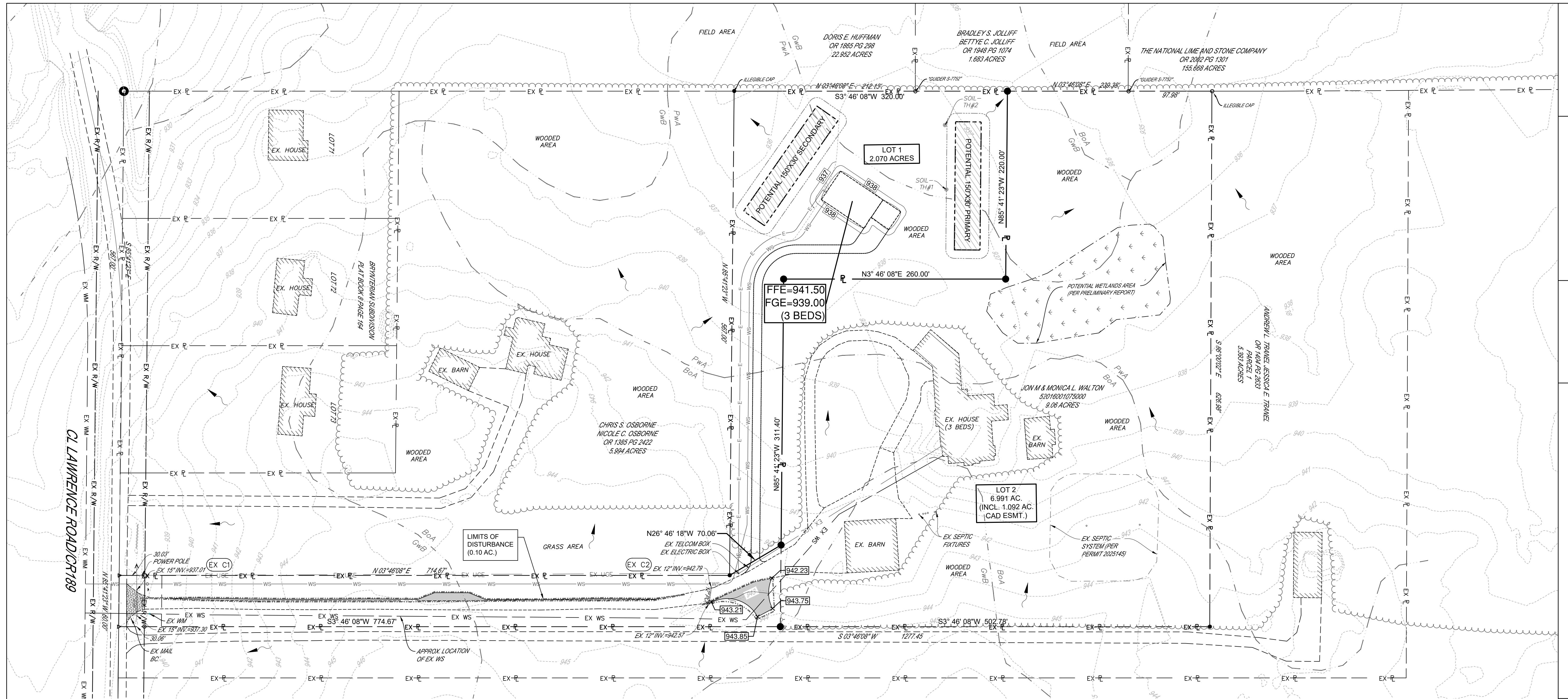
PLAN LEGEND

| | | |
|-----------|------|--|
| ----- | EX | EXISTING PROPERTY LINE |
| ----- | EX E | PROPOSED EASEMENT LINE |
| ----- | EX P | PROPOSED PROPERTY LINE |
| E | | FUTURE ELECTRIC SERVICE (BY OTHERS) |
| WS | | FUTURE WATER SERVICE (BY OTHERS) |
| [Hatched] | | POTENTIAL SEPTIC FIELD. (AREA TO REMAIN UNDISTURBED) |



DATE:
01/29/2026
JOB NO.: 2026-05
DESIGN: NBH
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SHEET NO.

0 30 60 120
GRAPHIC SCALE
1 inch = 60 feet


NOTE TO CONTRACTOR / FUTURE LOT OWNERS

OWNERS/ CONTRACTORS OF FUTURE LOTS SHALL CREATE POSITIVE DRAINAGE AROUND MOUND SEPTIC SYSTEMS AND ENSURE DRAINAGE IS NOT BLOCKED UPSTREAM OR PONDING OCCURS AROUND MOUND SYSTEMS .

POTENTIAL SUBSURFACE DRAINAGE SYSTEM (FIELD TILES) HAVE BEEN SHOWN ON THIS PLAN BASED ON COUNTY AERIAL PHOTOGRAPHY. ADDITIONAL TILES MAY EXIST ON THE PROPERTY THAT ARE NOT SHOWN. IF ENCOUNTERED DURING CONSTRUCTION THE SYSTEM AND/OR OUTLET SHALL BE MAINTAINED AT ALL TIMES. IT WILL BE THE CONTRACTORS/ FUTURE LAND OWNERS RESPONSIBILITY TO REPAIR, REPLACED AND/OR RE-ROUTED AS NEEDED TO MAINTAIN SYSTEM.

| GRADING PLAN LEGEND | |
|---------------------|--|
| ----- 820 ----- | EXISTING CONTOURS |
| ----- 850 ----- | POTENTIAL FUTURE CONTOURS |
| → | FLOW ARROW |
| FFE FGE | PROPOSED FINISH GRADE ELEVATION (FINAL FFE & FGE SHALL BE DETERMINED BY FUTURE OWNER) |
| → | MAJOR FLOOD ROUTING |
| XXXXXX | PROPOSED SPOT ELEVATION |
| ----- | CONSTRUCTION LIMITS / LIMITS OF DISTURBANCE |
| | PRELIMINARY SEPTIC FIELDS. FINAL SIZE AND LOCATION MAY VARY WITH FINAL DESIGN. ALL PROPOSED DISPOSAL SYSTEMS SHALL NOT VIOLATE OAC 3701-29. NO GRADING OR CONSTRUCTION ACTIVITY WITHIN 10' OF SEPTIC FIELDS. |
| EX C# | EX. CULVERT |

| REVISIONS NO. | DATE | DESCRIPTION |
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DATE: 01/29/2026
 JOB NO.: 2026-05
 DESIGN: NBH
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 SHEET NO. 5
 GRAPHIC SCALE 0 30 60 120
 1 inch = 60 feet