



**Preliminary Subdivision
Application**
Delaware County, Ohio
(for unincorporated areas only)

RPC Sketch Plan Number _____

RPC Number _____
(RPC Staff will assign)

| | | |
|-------------------------------|--|--------------------------|
| PROJECT | Walton CAD on Lawrence Road | (circle one) Residential |
| TOWNSHIP | | |
| APPLICANT/ CONTACT | Name Caleb Wade | Phone [REDACTED] |
| | Address 444 Columbus Rd Ste B | E-mail [REDACTED] |
| | City, State, Zip Mount Vernon, OH, 43050 | |


| | | |
|---------------------------|--------------------------------------|-------------------|
| PROPERTY OWNER | Name Jon M & Monica L Walton | Phone [REDACTED] |
| | Address 1621 Lawrence Rd | E-mail [REDACTED] |
| | City, State, Zip Delaware, OH, 43015 | |

| | | |
|-------------------------------|--------------------------------------|-------------------|
| SURVEYOR/ ENGINEER | Name Nathan Harrington | Phone [REDACTED] |
| | Address 5659 Greystone Lane | E-mail [REDACTED] |
| | City, State, Zip Hilliard, OH, 43026 | |

| | | |
|-----------------|--------------------------------------|-------------|
| LOCATION | (circle one) N side of Lawrence Road | Road/Street |
| | approx. 2,855' feet W of SR 203 | Road/Street |

| | | |
|----------------|------------------------------|------------------------------------|
| DETAILS | Is a CAD involved? yes | |
| | Current Land Use Residential | Del-Co Water yes |
| | Current Zoning District FR-1 | Private wells yes |
| | Buildable lots 2 | Sanitary Sewer no |
| | Non-buildable 0 | Electric Provider |
| | Total Acreage 9.060 | Gas Provider |
| | Open Space Acreage | School District Buckeye Valley LSD |

| | |
|---|--|
| SUBMISSION REQUIREMENTS (Sub. Regs. Section 204.02) | 4 Folded full-size copies of the Preliminary Plan, indicating Utility and Grading , and one 11" x 17" copy; |
| | Other Preliminary Engineering components shall be provided electronically to DCEO. PLEASE NOTE: DCEO does not require a separate Preliminary Engineering submission for Common Access Driveways, unless part of a larger subdivision. |
| | Preliminary Plan in digital format (GIS preferred), Preliminary Waters of the US Report Summary in digital format (pdf preferred); |
| | PDF of plat, on media or preferably e-mailed to smatlack@co.delaware.oh.us |
| | Confirmation of receipt (via transmittal form or e-mail) of any additional required information submitted to the Sanitary Engineer's office, and the Health District (if applicable, including the Soil Scientist Report); |
| | Fee - \$500 base, plus \$110 per build lot, CADs require additional fees; For commercial and multi-family - \$500 base, plus \$110 per acre; (Refer to Fee Schedule for Soil and Water and Health fees) \$ <u>1470</u> |

 1/30/2016
Owner (or agent for owner) and Date

GENERAL SUMMARY

SITE ADDRESS: 1621 LAWRENCE ROAD, DELAWARE OHIO 43015

PARCEL: PID: 52016001075000

CURRENT ZONING: FR-1 - FARM RESIDENTIAL DISTRICT

SETBACKS: BUILDINGS

FRONT: 50'
REAR: 80'
SIDE: 25'

PROPERTY DESCRIPTION

| | | |
|----------------------------|-----------|---|
| ORIGINAL AREA: | 9.061 AC. | |
| PROPOSED NUMBER OF LOTS: | 2 | |
| LOT # 1 | 2.070 AC. | |
| LOT # 2 (PARENT TRACT) | 6.991 AC. | (AREA EXCLUDING LAWRENCE RD. R/W & CAD ESMT = 5.899 AC) |
| LAWRENCE ROAD R/W (30') | 0.042 AC. | |
| TOTAL | 9.061 AC. | |
| DEVELOPMENT/ GROSS DENSITY | 0.22 | DWELLING UNITS/ ACRE (2 LOTS / 9.061 AC) |
| CAD EASEMENT | 1.050 AC. | |
| STATE ROUTE 61 R/W (30') | 0.041 AC. | |
| NET AREA | 7.969 AC. | (EXCLUDING ALL EASE. & ROW) |
| NET DENSITY | 0.25 | DWELLING UNITS/ ACRE |
| AREA DISTURBED | 0.10 AC | NOI# - N/A |

BASIS OF INFORMATION

ALL EXISTING CONDITIONS, TOPOGRAPHY, UTILITIES, & EASEMENTS ARE AS TAKEN FROM A SURVEY PROVIDED BY BLUE CHURCH SURVEYING, SITUATED IN SUNBURY, DELAWARE COUNTY, OHIO. DATED 12-27-2025.

PECK SURVEYING
614-348-9503
PECKSURVEYING@GMAIL.COM

PER INFORMATION PROVIDED BY THE SURVEYOR: BEARINGS SHOWN ARE BASED UPON STATE PLAN COORDINATE GRID (OHIO NORTH 1983) DERIVED FROM GPS OBSERVATION.

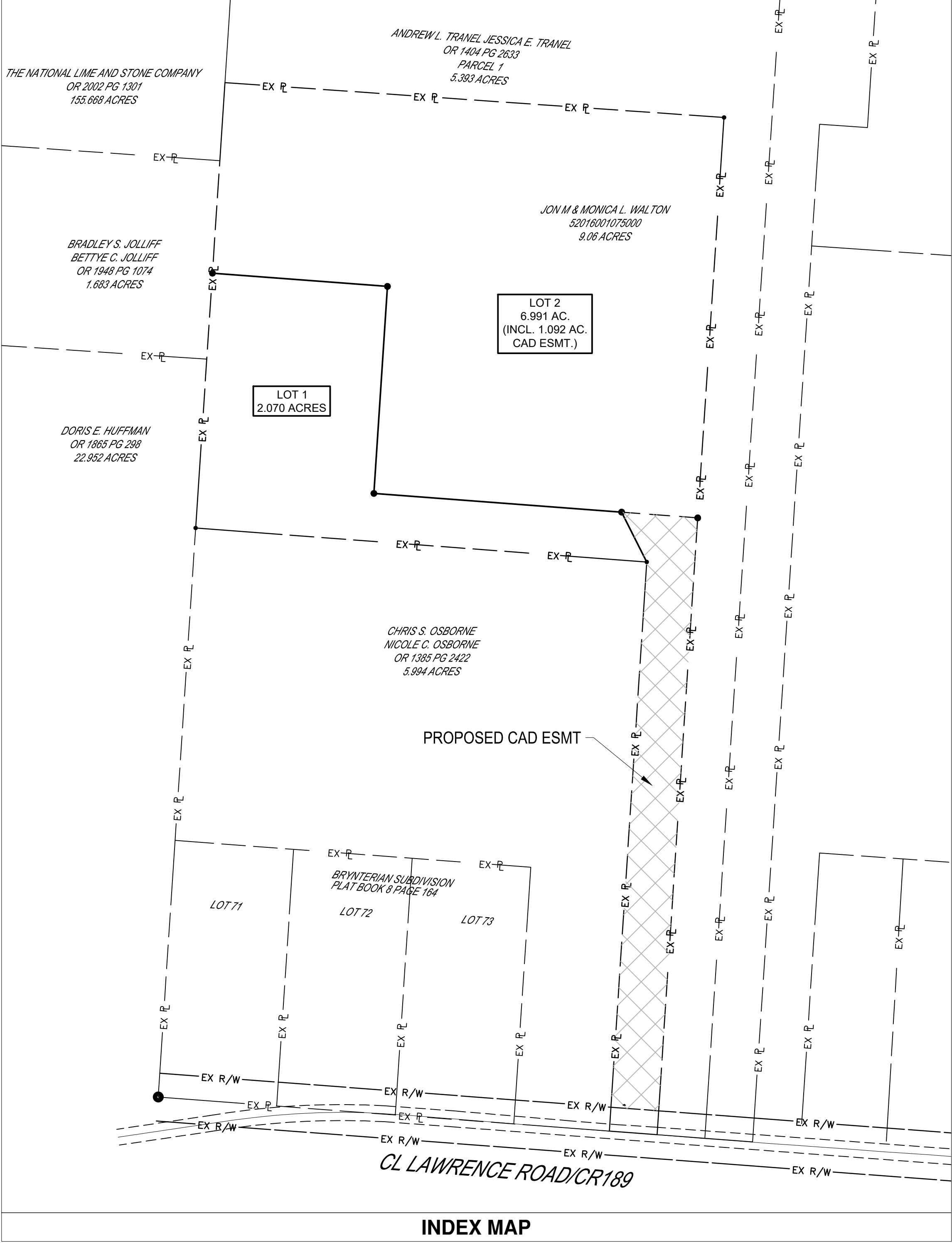
FLOODPLAIN DATA

PANEL:39041C0085L
EFFECTIVE DATE: 12/21/2023
ZONE X: AREAS DETERMINED TO BE OUTSIDE OF THE 0.2% ANNUAL CHANCE FLOODPLAIN.
FLOOD ZONE X: AREAS OF 0.2% ANNUAL CHANCE FLOOD (500 YEAR), AREAS OF 1% ANNUAL CHANCE FLOOD (100 YEAR) WITH AVERAGE DEPTHS OF LESS THAN 1 FOOT OR WITH DRAINAGE AREAS LESS THAN 1 SQUARE MILE, AND AREAS PROTECTS BY LEVEES FROM 1% ANNUAL CHANCE FLOOD.

DEVELOPMENT CONTACTS

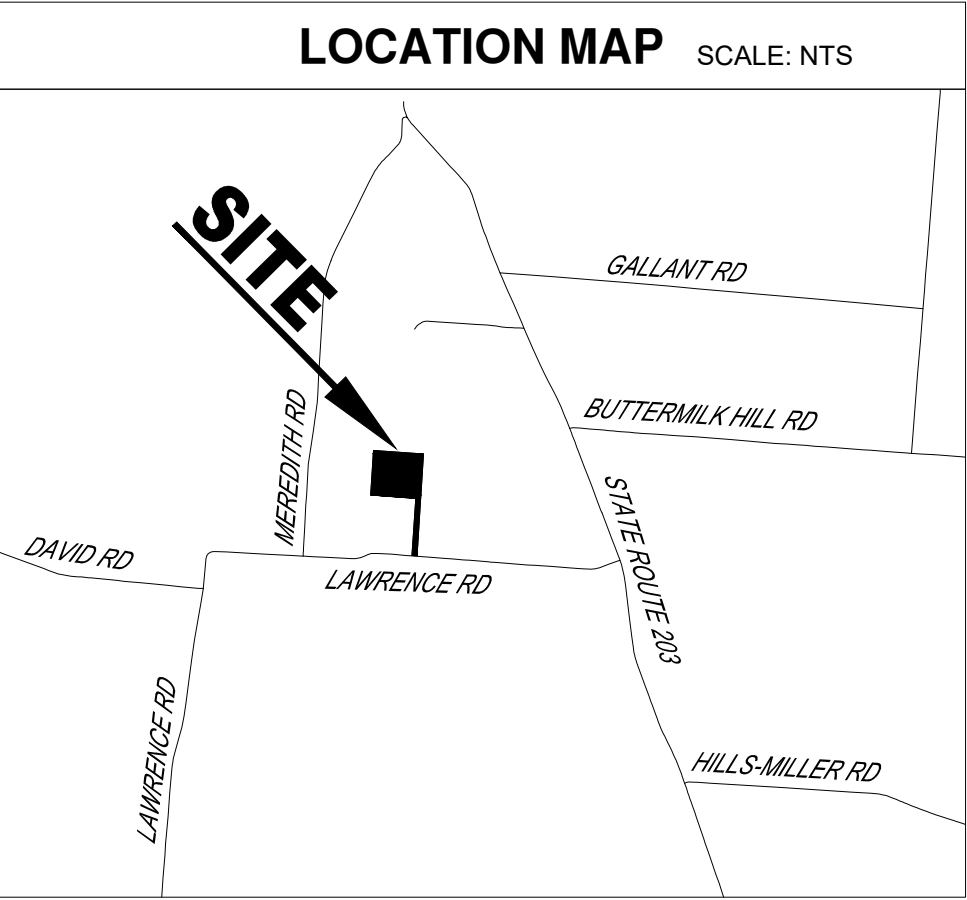
| | | |
|---|--|---|
| PLANNING & ZONING | SOIL & WATER | ENGINEERING |
| DELAWARE REGIONAL PLANNING 109 N SANDUSKY STEET DELAWARE, OH 43015 SCOTT SANDERS 740-833-2260 | DELAWARE SWCD 557 SUNBURY ROAD #A DELAWARE, OH 43015 PH: 740-368-1921 | DELAWARE CO. ENGINEERING 50 CHANNING STREET DELAWARE, OH 43015 CHRIS BAUSERMAN, PE. PS PH: 740-833-2400 |
| SANITARY SEWER | WATER | SURVEYOR |
| DELAWARE CO. SANITARY ENGINEER 50 CHANNING STREET DELAWARE, OH 43015 PH: 740-833-2240 | DEL-CO WATER COMPANY INC 6658 OLENTANGY RIVER RD. DELAWARE, OH 43015 CRIS VALENZUELA PH: 740-548-7746 X 2402 | PECK SURVEYING JASON PECK [REDACTED] M |
| OWNER/ DEVELOPER | SOILS | PLANNER |
| JON & MONICA WALTON [REDACTED] | SOIL & ENVIRONMENTAL CONSULTING SERVICES, INC P.O. BOX 1121 DELAWARE, OHIO 43015 STEVEN MILLER E: SOILCONSULTANT@GMAIL.COM | A TO ZONING COURTNEY WADE [REDACTED] |

PRELIMINARY DEVELOPMENT PLANS FOR
WALTON CAD
STATE OF OHIO, DELAWARE COUNTY, RADNOR TOWNSHIP
RANGE 20, TOWNSHIP 5, SECTION 1, FARM LOT 13



INDEX MAP

| CHANGE ORDER SCHEDULE | | | | | | |
|-----------------------|----------|----------------|-----------------------|-----------|----------|------------------|
| CHANGE | PREPARED | DATE OF CHANGE | DESCRIPTION OF CHANGE | SHEET NO. | APPROVED | DATE OF APPROVAL |
| | | | | | | |
| | | | | | | |
| | | | | | | |
| | | | | | | |



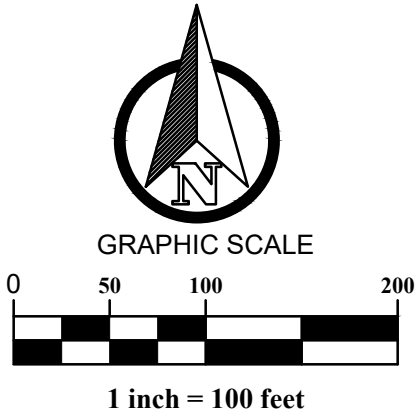
SHEET LEGEND

| Sheet Number | Sheet Title |
|--------------|-------------------------|
| 1 | TITLE SHEET |
| 2 | GENERAL NOTES |
| 3 | SITE PLAN |
| 4 | UTILITY PLAN |
| 5 | GRADING & DRAINAGE PLAN |
| 6 | SIGHT DISTANCE EXHIBIT |

VARIANCES

VARIANCE REQUESTED FOR RUNOFF RATES PER ARTICLE IX. REQUEST DUE TO THE MINOR AFFECT TO THE OVERALL DRAINAGE.

DATE APPROVED: _____



Call Before You Dig
800-362-2764 or 8-1-1
www.oups.org

PLANS PREPARED FOR:

PLANS PREPARED BY:

brack engineering
NATHAN HARRINGTON
5659 GREYSTONE LN
HILLIARD, OH 43026
E: NHARRINGTON@BRACKENG.COM
P: 614.506.3662

TITLE SHEET

WALTON CAD

1621 LAWRENCE ROAD, DELAWARE OHIO 43015

| REVISIONS | NO. | DATE | DESCRIPTION |
|------------------|-----|------|-------------|
| | | | |
| | | | |
| | | | |
| | | | |
| DATE: 01/29/2026 | | | |
| JOB NO.: 2026-05 | | | |
| DESIGN: NBH | | | |
| CHECKED: NBH | | | |
| SHEET NO. | | | |
| 1 | | | |

GENERAL NOTES SUBDIVISION

- 1.THE DELAWARE COUNTY DESIGN, CONSTRUCTION AND SURVEYING STANDARDS, LATEST EDITION, TOGETHER WITH THE CITY OF COLUMBUS (C.O.C.) CONSTRUCTION AND MATERIALS SPECIFICATIONS, LATEST EDITION, ALONG WITH THE DELAWARE COUNTY ENGINEER (DCEO) SUPPLEMENTAL SPECIFICATIONS, SHALL GOVERN ALL MATERIALS AND WORKMANSHIP INVOLVED IN THE IMPROVEMENTS SHOWN ON THESE PLANS, UNLESS OTHERWISE NOTED.
- 2.A PRECONSTRUCTION CONFERENCE SHALL BE HELD AT THE COUNTY ENGINEER'S OFFICE BEFORE ANY WORK IS BEGUN. REPRESENTATIVES OF THE OWNER, DESIGN ENGINEER, AND CONTRACTOR SHALL BE IN ATTENDANCE. A SCHEDULE OF SEQUENCE OF EVENTS DURING CONSTRUCTION MUST BE SUBMITTED FOR REVIEW PRIOR TO THIS MEETING.
- 3.PROOF SURVEYS ARE REQUIRED TO BE PERFORMED BY THE OWNER IN ORDER TO DEMONSTRATE CONCLUSIVELY THAT THE FACILITIES ARE CONSTRUCTED TO THE CAPACITY, ELEVATIONS, SLOPES, GRADES AND SIZES SHOWN ON THE APPROVED PLANS. SUCH SURVEYS SHALL BE CONDUCTED BY A REGISTERED PROFESSIONAL SURVEYOR, SHALL EMPLOY STANDARD TECHNIQUES, AND SHALL PRODUCE AND FURNISH FIELD NOTES TO THE COUNTY ENGINEER FOR REVIEW AND RECORD PURPOSES. REDUCTION OF NOTES AND ANY PLOTTING NECESSARY TO MAKE NOTES INTERPRETABLE SHALL BE COMPLETED BY THE SURVEYOR PERFORMING THE PROOF SURVEY. PROOF SURVEYS SHALL BE IN ADDITION TO, AND SEPARATE FROM, OTHER INSPECTIONS BY THE COUNTY ENGINEER. ALL DISCREPANCIES REVEALED IN THE AS-CONSTRUCTED FACILITIES BY THE PROOF SURVEY SHALL BE RECTIFIED BY THE OWNER AND THE PROOF SURVEY RE-PERFORMED IN ORDER TO DEMONSTRATE CONFORMANCE. THE PROOF SURVEY SHALL BE APPROVED BY THE COUNTY ENGINEER, IN WRITING, PRIOR TO THE RELEASE OF THE BUILDING PERMITS.
4. BE ADVISED: A SUBSURFACE DRAINAGE SYSTEM MAY EXIST ON THIS SITE. THE CONTRACTOR SHALL MAINTAIN ALL EXISTING DRAIN PIPES OR TILES ENCOUNTERED IN THE FIELD AT ALL TIMES AND, IF DAMAGED, SHALL REPAIR OR REPLACE THEM IMMEDIATELY WITH THE SAME SIZE AND QUALITY OF MATERIALS AS FOUND. ALL DRAINAGE TILES ENCOUNTERED IN THE FIELD SHALL BE CONNECTED TO THE STORM SEWER SYSTEM AT A STRUCTURE.
- 5.THE CONTRACTOR SHALL NOTIFY THE COUNTY ENGINEER'S OFFICE FORTY EIGHT (48) HOURS PRIOR TO ANY CONSTRUCTION.
- 6.THE CONTRACTOR'S BID SHALL BE COMPREHENSIVE AND INCLUDE ALL LABOR AND MATERIALS NECESSARY TO COMPLETE ALL IMPROVEMENTS ACCORDING TO THE ENGINEERING PLANS AND SPECIFICATIONS.
- 7.THE CONTRACTOR SHALL LOCATE ALL UTILITIES OR UNDERGROUND STRUCTURES PRIOR TO CONSTRUCTION AND NOTIFY EACH RESPECTIVE UTILITY OWNER FORTY-EIGHT (48) HOURS PRIOR TO COMMENCEMENT OF CONSTRUCTION. CONTACT O.U.P.S. AT 1-800-362-2764.
8. IF A DISCREPANCY EXISTS BETWEEN THE PLANS AND SPECIFICATIONS, THE COUNTY ENGINEER AND THE OWNER'S ENGINEER SHALL BE NOTIFIED BEFORE WORK IS COMMENCED.
9. IT IS THE RESPONSIBILITY OF THE CONTRACTOR TO EXERCISE SAFETY PRECAUTIONS AND TO PROVIDE ALL SAFETY EQUIPMENT TO SAFEGUARD WORKMEN AND ALL PERSONS ON OR NEAR THE WORK SITE.
- 10.THE CONTRACTOR SHALL EXAMINE THE WORK SITE AND SHALL SATISFY HIMSELF AS TO THE CHARACTER, QUALITY AND QUANTITIES OF WORK TO BE PERFORMED.
- 11.HORIZONTAL AND VERTICAL LOCATION OF ALL EXISTING FEATURES WITHIN THIS SUBDIVISION IS APPROXIMATE. IT IS THE RESPONSIBILITY OF THE CONTRACTOR TO FIELD VERIFY THE LOCATION OF EXISTING FEATURES SHOWN ON PLANS, SUCH AS GAS LINES, WATER LINES AND FIELD TILE, TO PROPERLY EXECUTE THE WORK OF HIS CONTRACT. IT SHALL FURTHER BE THE RESPONSIBILITY OF THE CONTRACTOR TO EXERCISE DUE CAUTION AROUND EXISTING COMPLETED WORK ON THE SITE.
- 12.THE CONTRACTOR SHALL REPAIR OR REPLACE ANY AND ALL EXISTING WORK DAMAGED DURING OR DUE TO THE EXECUTION OF THIS CONTRACT AT HIS OWN EXPENSE. ALL SAID WORK IS TO BE REPAIRED OR REPLACED TO THE SATISFACTION OF THE OWNER AND THE COUNTY ENGINEER.
- 13.SITE CLEARING SHALL COMPLY WITH C.O.C. ITEM 201. REMOVAL OF EXISTING PIPE, PAVEMENT, STRUCTURES AND OTHER OBSTRUCTIONS SHALL COMPLY WITH C.O.C. ITEM 202.
- 14.ALL MATERIAL DEEMED UNSUITABLE BY THE COUNTY ENGINEER SHALL BE REMOVED FROM THE PROPOSED RIGHT-OF-WAY, CONSTRUCTION LIMITS OR FOR ANY EXCAVATION FOR THE STORM SEWER SYSTEM. THE MATERIAL REMOVED INCLUDES, BUT IS NOT LIMITED TO, ORGANIC SOIL, TOPSOIL, VEGETATION, TREES, STUMPS, ROOTS OR EXCESSIVELY WET INORGANIC MATERIALS. THE MATERIAL SHALL BE REMOVED REGARDLESS OF THE AMOUNT OF EMBANKMENT TO BE CONSTRUCTED AND SHALL BE INCLUDED IN THE UNIT PRICE BID FOR ITEM 203, EXCAVATION.
- 15.THE DELAWARE COUNTY ENGINEER OR HIS DESIGNATED REPRESENTATIVE SHALL OBSERVE AND APPROVE ALL SUB-BASE MATERIALS AND COMPACTION IN PUBLIC FILL AREAS.
- 16.NON-ORGANIC SITE SOILS ARE ACCEPTABLE AS USE FOR STRUCTURAL FILL PROVIDED THEY MEET ALL REQUIREMENTS OF C.O.C. ITEM 203. MOISTURE ADJUSTMENT MAY BE REQUIRED AND SHALL BE PERFORMED BY THE CONTRACTOR.
- 17.ANY LANDSCAPE FEATURES, SUCH AS TREES, FENCES, RETAINING WALLS, ETC. IN DRAINAGE EASEMENTS SHALL BE REVIEWED BY THE DELAWARE COUNTY SOIL AND WATER CONSERVATION DISTRICT (DCSWCD) AND THE DELAWARE COUNTY ENGINEER (DCEO) PRIOR TO INSTALLATION. THE DCSWCD AND DCEO WILL REVIEW THE PROPOSED IMPROVEMENTS TO ASSURE THAT THE IMPROVEMENTS WILL NOT INTERFERE WITH THE STORM WATER CONTROL FACILITIES.
- 18.ALL CONTRACTOR(S) WORKING ON THIS SITE SHALL REFERENCE ALL IRON PINS AND MONUMENTS BEFORE EXCAVATING AT OR NEAR SAID IRON PINTS OR MONUMENTS. IF ANY PINS OR MONUMENTS ARE DESTROYED OR DAMAGED BY THE CONTRACTOR, THEY SHALL BE REPLACED BY A PROFESSIONAL OHIO LICENSED SURVEYOR AT THE COMPLETION OF THE PROJECT OR AT THE DIRECTION OF THE COUNTY ENGINEER AT NO EXPENSE TO THE OWNER. THE COST FOR THIS SHALL BE INCLUDED IN THE PRICE BID FOR VARIOUS ITEMS.
- 19.ALL QUESTIONS SHALL BE DIRECTED TO THE DELAWARE COUNTY ENGINEER AT (740) 833-2400.
- BACKFILLING FOR STORM SEWERS, CULVERTS AND UTILITIES**
1. UTILITY TRENCHES OUTSIDE THE RIGHT-OF-WAY SHALL BE BACKFILLED WITH SOILS MEETING THE REQUIREMENTS OF ITEM 203 (100 PCF OR GREATER). THESE TRENCHES ARE TO BE COMPACTED IN ACCORDANCE TO STANDARD DRAWING DCED R-100 AT +2-% OF OPTIMUM MOISTURE.
2. ALL UTILITY TRENCHES IN THE RIGHT-OF-WAY RUNNING PARALLEL TO THE EDGE PAVEMENT AND NOT OVER FIVE FEET (5') IN DEPTH SHALL BE BACKFILLED ACCORDING TO STANDARD DRAWING DCED R-100.
3. ALL UTILITY TRENCHES UNDER ROAD PAVEMENT, STARTING AT A DISTANCE OF FIVE FEET (5') FROM THE EDGE OF THE PAVEMENT AND EXTENDING ONE FOOT (1') IN DISTANCE FOR EACH ONE FOOT (1') IN DEPTH SHALL BE BACKFILLED WITH COMPACTED GRANULAR MATERIALS PER STANDARD DRAWING DCED R-100 OR LOW STRENGTH MORTAR BACKFILL. ALSO, THE TOP OF ALL UTILITY CONDUITS SHALL BE LOCATED AT LEAST ONE FOOT BELOW THE UNDERDRAINS.
4. ALL UTILITY TRENCHES OVER FIVE FEET (5') IN DEPTH WHICH RUN PARALLEL TO THE EDGE OF PAVEMENT OR THAT ARE IN THE ZONE OF INFLUENCE SHALL BE BACKFILLED AS PER STANDARD DRAWING DCED R-100.
5. THE CONTRACTOR SHALL INCLUDE IN THE UNIT PRICE BID FOR UNDERGROUND UTILITY PIPE, ALL TRENCHING, BACKFILLING AS PER PLAN, AND THE REMOVAL AND DISPOSAL OF BRUSH, TREES, STUMPS, ETC. WITHIN THE AREA OF EXCAVATION OF THE TRENCH.
6. THE CONTRACTOR SHALL REFER TO THE UTILITY PLAN AND PROFILE SHEETS TO DETERMINE CRITICAL UTILITY CROSSINGS.
7. IN PAVEMENT, SIDEWALK, AND UTILITY CROSSING AREAS THE BACKFILL SHALL BE COMPACTED GRANULAR MATERIAL PER C.O.C. ITEM 304, AND ALL OTHER REMAINING AREAS SHALL BE BACKFILLED PER C.O.C. ITEM 603.08.
8. THE CONTRACTOR SHALL RESTORE OFF-SITE CONSTRUCTION AREAS TO AN EQUAL OR BETTER CONDITION THAN THAT EXISTING PRIOR TO

COMMENCEMENT OF CONSTRUCTION TO THE SATISFACTION OF THE COUNTY ENGINEER.

9. CASING PIPE REQUIRED WITHIN THE RIGHT-OF-WAY SHALL BE SDR 21 OR SCHEDULE 40 FOR NON-PRESSURIZED LINES AND C-900 (LESS THAN 12-INCHES) OR C-905 (GREATER THAN 12-INCHES) FOR PRESSURIZED LINES.

STORM SEWERS

1. THE CONTRACTOR SHALL INCLUDE IN THE UNIT PRICE BID FOR ITEM 603, ALL TRENCHING, EXCAVATION AND BACKFILLING PER STANDARD DRAWING DCED R-100, AND THE REMOVAL AND DISPOSAL OF BRUSH, TREES, STUMPS ETC. WITHIN THE AREA OF EXCAVATION OF THE TRENCH, UNLESS BID IN ITEM 203.
2. THE PROPOSED ELEVATIONS AND LOCATIONS OF INLETS, CATCH BASINS, AND PIPES, AND THE ESTIMATED LENGTHS OF PIPES, MAY BE ADJUSTED BY THE COUNTY ENGINEER DURING THE ENTIRE IMPROVEMENT OF THIS PROJECT. BASIS OF PAYMENT FOR POSSIBLE ADJUSTMENTS SHALL BE INCLUDED IN THE UNIT PRICE BID FOR VARIOUS STORM SEWERS TO BE ADJUSTED.
3. UNLESS OTHERWISE NOTED ON THE PLANS, ALL STORM SEWERS SHALL BE AS HEREFTER SPECIFIED:
- a. ALL SIZES OF STORM SEWER LOCATED WITHIN THE RIGHT-OF-WAY SHALL BE TYPES "A" OR "B" CONDUIT. SEE APPROVED MATERIALS DC PN 004 DATED 12/27/2012, SHOWN BELOW.
- b. STORM SEWERS LOCATED OUTSIDE OF THE RIGHT-OF-WAY SHALL BE TYPE "C" CONDUIT. SEE APPROVED MATERIALS PER DC PN 004 DATED 12/27/2012, SHOWN BELOW.
- c. FOR ALL CONCRETE PIPE IN TYPE A, B, C AND D INSTALLATIONS, SEE THE CITY OF COLUMBUS SUPPLEMENTAL SPECIFICATIONS IN APPENDIX B OF THE DELAWARE COUNTY ENGINEERS DESIGN, CONSTRUCTION AND SURVEYING STANDARDS FOR THE MINIMUM CLASS OF PIPE THAT IS REQUIRED.

DC PN 04 - 12/27/2012 - ALLOWABLE ITEM 603 CONDUIT MATERIALS PER COC CMC 2012.
ANY OF THE FOLLOWING CONDUIT MATERIALS MAY BE USED WHEN THE PAY ITEM DESCRIPTION OR GENERAL NOTES DO NOT SPECIFY A CONDUIT MATERIAL.

- TYPE A CONDUITS - CULVERTS:
ALL SIZES: 706.02, 706.03, 706.04, 706.05, 706.05.1, 706.052, 706.053
- TYPE B CONDUITS - STORM SEWERS UNDER PAVEMENT OR SIDEWALK/ MULTI-USE PATH:
ANY SIZE: 706.02, 706.04, 706.05, 720.10, 720.13, 720.14, 801.03, 801.04
- TYPE C CONDUITS - STORM SEWERS NOT UNDER PAVEMENT OR SIDEWALK/ MULTI-USE PATH:
ANY SIZE: 706.02, 706.03, 706.04, 706.05, 720.13, 720.14, 801.03, 801.04.
30-INCH OR SMALLER: 720.08, 720.09, 720.10, 720.11, 720.12

4. ALL TYPE "A", "B", AND "C" CONDUIT SHALL HAVE JOINTS, PER CITY OF COLUMBUS 901.15 AND SHALL USE TYPE C BITUMINOUS PIPE JOINT FILLER.
5. GRANULAR BEDDING SHALL BE PROVIDED FOR ALL TYPE "A", "B", AND "C" CONDUIT PER DELAWARE COUNTY STANDARD DRAWINGS DCED S-149, DCED S-151, DCED S-152, DCED S-153 AND DCED S-155.
6. ALL PIPES OUTSIDE THE RIGHT-OF-WAY SHALL HAVE A COVER OF 1.5 FEET MINIMUM. WHEREVER THIS IS NOT THE CASE, EMBANKMENT SHALL BE PLACED TO PROVIDE A MINIMUM COVER PRIOR TO THE INSTALLATION OF THE STORM SEWER.
7. OPENINGS SHALL BE PROVIDED IN THE DRAINAGE STRUCTURES TO ACCOMMODATE UNDERDRAIN OUTLETS, ANY CORING NECESSARY SHALL BE INCLUDED WITHIN THE COST OF THE UNDERDRAIN. UNDERDRAINS TO BE CONSTRUCTED IN ACCORDANCE WITH THE PLAN SPECIFICATIONS.
8. WHERE PLASTIC PIPE (HDPE) IS USED FOR STORM SEWERS TO BE PLACED ON DRAINAGE MAINTENANCE, 100% OF THE PIPE SHALL BE MANDERELLED 30 DAYS AFTER INSTALLATION. ALL PLASTIC PIPE FAILING THE MANDEREL TEST SHALL BE RETESTED AND/OR REPLACED PER THESE STANDARDS AND SUPPLEMENTAL SPECIFICATIONS. IN ADDITION TO NOTIFYING THE COUNTY INSPECTOR, PLEASE ALSO NOTIFY MATT LANUM AT 740-368-1921 AT LEAST 2 BUSINESS DAYS PRIOR TO THE INSTALLATION TO GIVE THEM BOTH THE CHANCE TO OBSERVE THE CONSTRUCTION OF DRAINAGE FACILITIES TO BE PLACED ON DRAINAGE MAINTENANCE PARTICULARLY INCLUDING THE MANDEREL TESTING.

GRADING NOTES

1. EXCAVATION AND EMBANKMENT SHALL COMPLY WITH C.O.C. ITEM 203 AND DELAWARE COUNTY SUPPLEMENTAL SPECIFICATIONS.
2. THE CONTRACTOR'S BID SHALL BE COMPREHENSIVE AND INCLUDE ALL LABOR AND EQUIPMENT TO COMPLETE ALL EXCAVATION, FILL AND GRADING IN ACCORDANCE WITH THE APPROVED ENGINEERING PLANS AND SPECIFICATIONS.
3. EXCAVATION AND EMBANKMENT QUANTITIES DO NOT INCLUDE ANY PROVISION FOR UNDERCUTTING, FOOTINGS, OR UNSUITABLE MATERIAL.
4. AFTER THE TOPSOIL IS REMOVED, PROOFROLL THE PAVEMENT AND BUILDING AREA SUBGRADES TO BE FILLED. SOFT AREAS SHOULD BE UNDERCUT AND STABILIZED PRIOR TO FILLING OPERATIONS. RELATIVE DEPTH OF UNDERCUT WILL BE DETERMINED WHEN SOFT AREAS ARE DISCOVERED. THE DELAWARE COUNTY ENGINEER SHALL DETERMINE THE DEPTH AND EXTENT OF THE UNDERCUT.

PIPE UNDERDRAINS

1. ALL MATERIALS AND WORKMANSHIP FOR UNDERDRAINS SHALL COMPLY WITH C.O.C. ITEM 605.
2. UNDERDRAINS SHALL BE INSTALLED AND BACKFILLED TO SUBGRADE ELEVATIONS IMMEDIATELY PRIOR TO CONSTRUCTION OF SUB-BASE AND AFTER THE PROOFROLL OF THE SUBGRADE. HOWEVER, WHERE SUBSURFACE CONDITIONS ARE SUCH THAT IMPROVEMENT OF UNSTABLE SUBGRADE CAN BE ACCOMPLISHED THROUGH DRYING ACTION OF UNDERDRAINS, THE COUNTY ENGINEER MAY AUTHORIZE OR REQUIRE THE CONTRACTOR TO DELAY CONSTRUCTION OF THE SUB-BASE AS NECESSARY.
3. IMMEDIATELY PRIOR TO THE CONSTRUCTION OF CURBS, THE MATERIAL LOCATED ABOVE AND WITHIN THE UNDERDRAIN TRENCH SHALL BE REMOVED TO A DEPTH NECESSARY TO EXPOSE CLEAN #8 OR #57 STONE. BACKFILL THE EXCAVATED AREA WITH CLEAN #8 OR #57 STONE.
4. REINFORCED ENDS SHALL BE PROVIDED FOR THE EXPOSED ENDS OF ALL UNDERDRAIN OUTLETS, IF THE EXPOSED PIPE ENDS ARE UNPROTECTED BY HEADWALLS, CATCH BASINS, OR MANHOLES. THE LAST 10 FEET OF UNDERDRAIN SHALL BE TYPE "F" WHEN OUTLETTING IN DITCH.

SITE CLEANUP

1. DURING CONSTRUCTION AND PRIOR TO ACCEPTANCE OF ANY PUBLIC IMPROVEMENTS, THE OWNER/DEVELOPER SHALL REMOVE OR CAUSE TO BE REMOVED ALL REFUSE, RUBBISH, UNUSED MATERIALS, EXCESS EARTH, FILL, ROCK, DEBRIS, AND FOREIGN MATTER FROM ALL PUBLIC RIGHTS OF WAY, IMPROVEMENTS, AND/OR EASEMENTS AS WERE DEPOSITED, LEFT OR RESULTED FROM THE CONSTRUCTION OF IMPROVEMENTS OF ANY NATURE WITHIN THE DEVELOPMENT. SUCH REMOVAL SHALL TAKE PLACE WITHIN TWENTY-FOUR (24) HOURS AFTER BEING NOTIFIED BY THE COUNTY ENGINEER THAT SUCH WORK IS REQUIRED, AND SHALL BE COMPLETED TO THE SATISFACTION OF THE COUNTY ENGINEER.
2. THIS WORK SHALL BE PERFORMED IN A MANNER WHICH PREVENTS EROSION AS WELL AS PREVENTS STORM WATER FROM ACCUMULATING OR PONDING ON THE SITE. THE WORK SHALL ALSO BE PERFORMED IN A MANNER THAT PREVENTS DISRUPTING OR IMPEDING SURFACE DRAINAGE FROM ONSITE OR OFFSITE SOURCES AND PREVENTS ANY NEGATIVE EFFECTS ON ADJACENT PROPERTIES. A SIX-INCH OVERLAY OF TOPSOIL SHALL BE PROVIDED AND SHALL BE SEEDED PER DELAWARE COUNTY STANDARDS.

SEEDING

1. BASED ON CONSTRUCTION START-UP DATE AND CONTRACTOR'S SCHEDULE OF EVENTS, THE SEEDING MIXTURE AND SEDIMENT CONTROL MAY BE CHANGED TO COMPLY WITH DELAWARE COUNTY STANDARDS AND SUPPLEMENTAL SPECIFICATIONS, DUE TO A NON- GROWING SEASON AT THE TIME OF START-UP.

2. THE CONTRACTOR SHALL APPLY TEMPORARY AND PERMANENT SEEDING, FERTILIZER, AND MULCHING TO THE SATISFACTION OF THE COUNTY ENGINEER.

MAINTAINING EXISTING DRIVEWAY

THE CONTRACTOR SHALL MAINTAIN ACCESS TO RESIDENCES TO THE FULLEST EXTENT POSSIBLE. IT IS UNDERSTOOD THAT FOR SHORT PERIODS OF TIME, FULL ACCESS TO DRIVEWAYS MAY NOT BE POSSIBLE. THE CONTRACTOR SHALL MAKE ACCOMMODATIONS TO THE RESIDENT SO THAT DURING THESE SHORT INTERVALS, THE HOMEOWNER CAN STILL HAVE ACCESS TO PARK NEAR THE RESIDENCE.

FOR PROPERTIES WITH MULTIPLE ACCESS POINTS, THE CONTRACTOR SHALL ONLY WORK ONE DRIVE AT A TIME.

FOR PROPERTIES WITH A SINGLE ACCESS POINT, THE CONTRACTOR SHALL MAINTAIN ACCESS TO PROPERTY AT ALL TIMES USING ONE OF THE FOLLOWING METHODS: REPLACE DRIVEWAY USING PART WIDTH CONSTRUCTION, BACKFILL OPEN EXCAVATION WITH ITEM 304.02 AGGREGATE FOR TEMPORARY ACCESS, OR USE STEEL PLATES TO SPAN OPEN EXCAVATIONS AND CONCRETE NOT OUT OF CURE. BEFORE ACCESS TO A DRIVEWAY IS INTERRUPTED, THE CONTRACTOR SHALL GIVE PRIOR NOTICE TO THE OCCUPANT OF THE PROPERTY.

THE CONTRACTOR SHALL BE RESPONSIBLE TO ENSURE THAT U.S. MAIL OR ANY OTHER DELIVERY WITHIN THE PROJECT LIMITS IS NOT DISRUPTED BY CONSTRUCTION OPERATIONS. ALL COSTS SHALL BE INCLUDED IN RELATED ITEMS, NO ADDITIONAL PAYMENT WILL BE MADE.

EROSION AND SEDIMENTATION CONTROL NOTES

SILTATION AND EROSION SHALL BE CONTROLLED BY MINIMIZING THE TIME THE SITE IS DENUDED BY TEMPORARY SEEDING, PERMANENT SEEDING, AND THE USE OF VARIOUS EROSION AND SEDIMENT CONTROL BEST MANAGEMENT PRACTICES. THESE DEVICES ARE TO BE MAINTAINED THROUGHOUT THE CONSTRUCTION PHASE OF THIS PROJECT. ONCE THE SITE AREA HAS BEEN STABILIZED, BEST MANAGEMENT PRACTICES SHALL BE REMOVED WITH THE APPROVAL OF THE COUNTY ENGINEER. ALL MEASURES SHALL BE MAINTAINED UNTIL ALL CONSTRUCTION UNDER THE CONTRACT HAS BEEN COMPLETED AND ACCEPTED BY THE COUNTY ENGINEER AND OWNER. MAINTENANCE SHALL INCLUDE ALL REPAIRS TO THOSE AREAS AND MEASURES DAMAGED BY EROSION, CONSTRUCTION EQUIPMENT, WEATHER, FIRE, AND/OR OTHER CAUSES INCLUDING "ACTS OF GOD."

THE TEMPORARY CONSTRUCTION ENTRANCES SHALL BE MAINTAINED IN A STATE THAT SHALL PREVENT TRACKING OR FLOW OF MUD ONTO THE PUBLIC RIGHT-OF-WAY OR ADJACENT PARKING LOT. THIS WILL BE ACCOMPLISHED BY USE OF A GRAVEL CONSTRUCTION ENTRANCE AND THE REPAIR AND/OR CLEANOUT OF ANY DEVICES USED TO TRAP THE SEDIMENT. ANY MATERIALS SPILLED, DROPPED, OR TRACKED FROM THE CONSTRUCTION SITE ONTO THE ROADWAYS OR INTO THE STORM SYSTEM MUST BE REMOVED IMMEDIATELY.

SEDIMENT DEPOSITS IN SEDIMENT TRAPS SHALL BE REMOVED AND THE MEASURES RESTORED TO THEIR ORIGINAL DESIGN PRIOR TO THE SEDIMENT OBTAINING THE ONE-HALF DESIGN HEIGHT OF THE DEVICE. ALL SEDIMENT MATERIAL SHALL BE DISPOSED OF BY AN ACCEPTABLE MEANS. ANY SEDIMENT DEPOSITS REMAINING IN PLACE AFTER THE MEASURES ARE NO LONGER REQUIRED SHALL BE PREPARED TO CONFORM TO THE FINAL GRADING PLANS, SEEDED AND MULCHED.

THE CONTRACTOR SHALL PLACE INLET PROTECTION FOR SEDIMENT CONTROL AT CATCH BASINS IMMEDIATELY AFTER THEIR CONSTRUCTION. COST FOR THIS WORK SHALL BE INCLUDED UNDER EROSION CONTROL. THE CONTRACTOR SHALL REMOVE INLET PROTECTION WHEN GRASS ESTABLISHMENT REACHES A MINIMUM OF 70% GROWTH DENSITY OVER THE ENTIRE DRAINAGE AREA FLOWING TO CATCH BASINS. THE OWNER SHALL DIRECT SEDIMENT CONTROL AT ALL CATCH BASINS IF REQUIRED.

TOPSOIL SHALL BE REMOVED FROM PROPOSED RIGHT-OF WAY, MOUNDING AND EMBANKMENT AREAS PRIOR TO CONSTRUCTION OF PAVEMENT, MOUNDING, AND EMBANKMENT AREA. TOPSOIL SHALL BE STOCKPILED FOR RESPREADING AS DIRECTED BY THE COUNTY ENGINEER AND/OR OWNER.

THE CONTRACTOR SHALL NOT DISTURB AREAS OUTSIDE CONSTRUCTION LIMITS UNLESS AUTHORIZED BY THE PROPERTY OWNER.

THE CONTRACTOR SHALL DISPOSE OF STREET, STOCKPILE, AND OVERLOT EXCAVATION AS DIRECTED BY THE COUNTY ENGINEER AND/OR OWNER.

THE SITE SHALL BE INSPECTED ON A WEEKLY BASIS FOR COMPLIANCE WITH THE SWPPP. FURTHERMORE, SEDIMENT CONTROL BMP'S SHALL BE INSPECTED IMMEDIATELY FOLLOWING EACH RAINFALL EVENT GREATER THAN ½ INCH AND AT LEAST DAILY DURING PERIODS OF PROLONGED RAINFALL. INSPECTION LOGS SHALL BE FURNISHED TO THE OWNER FOR EACH INSPECTION.

CLOSE ATTENTION SHALL BE PAID TO THE PROPER INSTALLATION AND REPAIR OF PERIMETER CONTROLS TO PREVENT FAILURE.

NECESSARY REPAIRS TO BARRIERS OR REPLACEMENT OF PERIMETER CONTROLS SHALL BE ACCOMPLISHED PROMPTLY.

ANY SEDIMENT DEPOSITS REMAINING IN PLACE AFTER THE PERIMETER CONTROLS IS NO LONGER REQUIRED SHALL BE DRESSED TO CONFORM TO THE EXISTING GRADE, PREPARED AND SEEDED.

ADDITIONAL EROSION AND SEDIMENT CONTROL BMP'S SHALL BE INSTALLED AS DIRECTED BY DELAWARE COUNTY OR OWNER. THE CONSTRUCTION ENTRANCE, SEDIMENT BASINS (TEMPORARY AND/OR PERMANENT), AND PERIMETER CONTROLS SHALL BE INSTALLED AS THE FIRST STEP OF THE CONSTRUCTION SEQUENCE.

NO SITE WORK SHALL COMMENCE UNTIL THE EROSION AND SEDIMENT CONTROLS ARE APPROVED BY DELAWARE COUNTY.

MAILBOX REMOVED AND RESET

THIS ITEM SHALL INCLUDE REMOVING AND TEMPORARILY RELOCATING EXISTING MAILBOXES AND SUPPORTS AS NECESSARY TO PERFORM CONSTRUCTION. CONTRACTOR SHALL MAINTAIN THE INTEGRITY OF THE MAILBOXES AND SUPPORTS DURING CONSTRUCTION AND REERECT THE MAILBOX AND SUPPORT TO PRE CONSTRUCTION CONDITION ONCE CONSTRUCTION ACTIVITIES PERMIT.

THE CONTRACTOR SHALL BE RESPONSIBLE FOR COORDINATING WITH THE LOCAL POSTMASTER REGARDING THE TIMING OF THE MOVEMENT OF ANY MAILBOX TO A TEMPORARY LOCATION.

THE CONTRACTOR SHALL BE RESPONSIBLE FOR ANY DAMAGE CAUSED TO THE MAILBOX AND/OR SUPPORT DURING CONSTRUCTION.

COST OF THE MAILBOX REMOVED AND RESET SHALL BE INCLUDED WITH THE PRICE OF THE DRIVEWAY REPLACEMENT.

CLEAR ZONE

THE CONTRACTOR SHALL REMOVE ALL TREES, OBSTACLES, ETC. WITHIN THE CLEAR ZONE PRIOR TO CONSTRUCTION, AND BEFORE CAD CAN BE PLATTED.

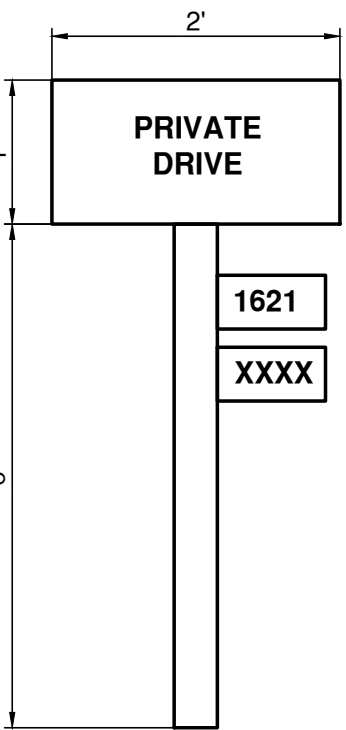
SITE REQUIREMENT - NOTES TO DEVELOPER

A POLE SIGN SHALL BE INSTALLED AT THE SUBDIVIDE'S EXPENSE, LOCATED AT THE CAD INTERSECTION WITH THE CONNECTING PUBLIC OR PRIVATE ROAD. SUCH SIGN MAY BE INTEGRATED INTO A COMMON MAILBOX STRUCTURE. THE POLE-SIGN SHALL BE MADE OF ROT-RESISTANT WOOD OR COMPARABLE WEATHER-RESISTANT MATERIAL. THE POLE SIGN SHALL BE PLACED OUTSIDE THE PUBLIC RIGHT-OF-WAY AND SHALL INCLUDE THE WORDS "PRIVATE DRIVE" IN CONTRASTING LETTERS. THE "PRIVATE DRIVE" SIGN SHALL BE NO LARGER THAN TWO SQUARE FEET (1 FOOT BY 2 FEET) ON EACH SIDE. ALL CAD ADDRESSES SHALL BE DISPLAYED COLLECTIVELY ON THE POLE-SIGN AT THE CAD ENTRANCE AND SHALL BE MADE OF REFLECTIVE MATERIAL. THE "PRIVATE DRIVE" SIGN AND ADDRESSES SHALL BE LEGIBLE FROM THE CONNECTING PUBLIC OR PRIVATE ROAD AND CONTINUOUSLY MAINTAINED AT THIS LOCATION. A RENDERING OF THE SIGN INCLUDING PROPOSED MATERIALS SHALL BE SUBMITTED AT THE TIME OF PRELIMINARY PLAN APPLICATION.

EACH LOT SHALL INDIVIDUALLY DISPLAY ITS ADDRESS AT THE DRIVEWAY ENTRANCE TO THE CAD WHEN THE ADDRESS IS ASSIGNED. THE ADDRESS/ SIGN BE MADE OF REFLECTIVE MATERIAL AND BE LEGIBLE FROM EACH LOT'S DRIVEWAY ENTRANCE.

ALL TREES AND SHRUBS INCLUDING PROTRUDING BRANCHES WITHIN 16' HORIZONTALLY AND 20' VERTICALLY FROM THE CENTERLINE OF THE CAD SHALL BE REMOVED AND MAINTAINED AS CLEARED AREA UNLESS THERE IS A MORE RESTRICTIVE STANDARD IN THE FUTURESHIP.

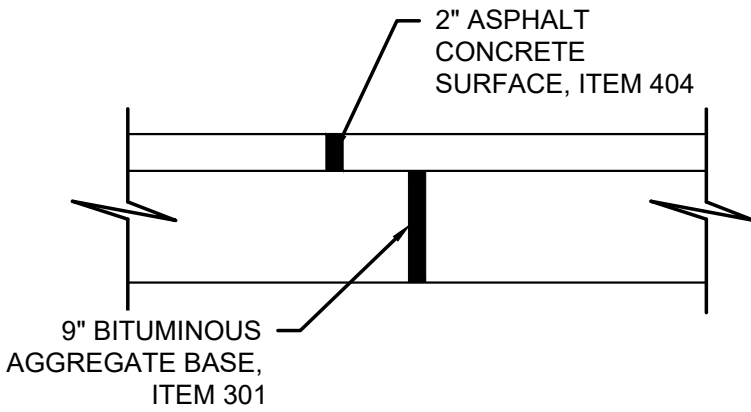
THERE SHALL BE NO TOWHP EXTENSION OF OR OFF THE CAD TO ADDITIONAL LANDS UNLESS APPROVED BY THE RPC AT ITS DISCRETION.



NOTES

1. POST TO BE 4"x4" TREATED WOOD
2. POST TO BE SET AT LEAST 36" DEEP AND BACKFILLED WITH FASTSETTING CONCRETE.
3. SIGN TO BE LOCATED OUTSIDE PUBLIC RIGHT-OF-WAY.

EXAMPLE OF CAD DRIVE SIGN (SEE SITE REQUIREMENT NOTE A)



DRIVEWAY APPROACH - ASPHALT PAVEMENT SECTION

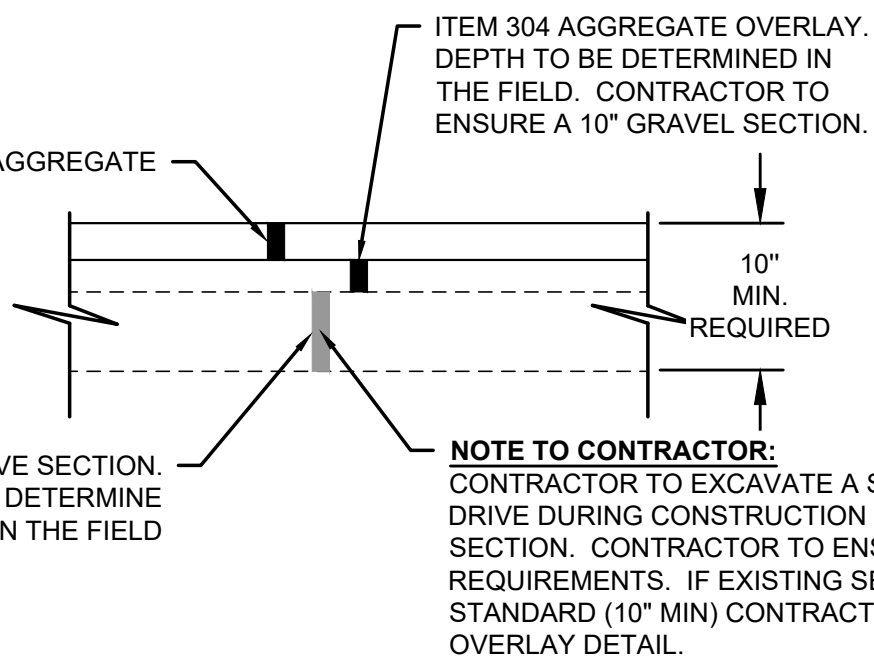
IN
PUBLIC RIGHT-OF-WAY
NOT TO SCALE

8" CONCRETE, ITEM 305
(CLASS "C" PER DELAWARE
COUNTY SUPPLEMENTAL
SPECIFICATIONS)

*REFER TO DCED-R2202
OR DCED-R2203B FOR
PAVEMENT ASPHALT
REQUIREMENT ALONG
ROADWAY*

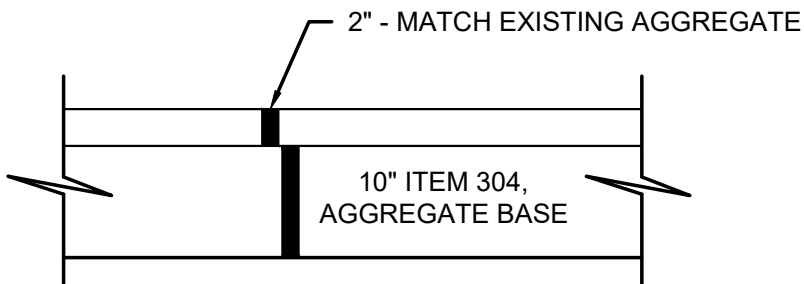
DRIVEWAY APPROACH - CONCRETE PAVEMENT SECTION

IN
PUBLIC RIGHT-OF-WAY
(IN LIEU OF ASPHALT)
NOT TO SCALE



GRAVEL OVERLAY TYPICAL SECTION (IF NEEDED)

NOT TO SCALE



PROPOSED GRAVEL SECTION

NOT TO SCALE

PLANS PREPARED FOR:

PLANS PREPARED BY:

brack
engineering
NATHAN HARRINGTON
5659 GREYSTONE LN
HILLIARD, OH 43026
E: NHARRINGTON@BRACKENG.COM
P: 614.506.3662

GENERAL NOTES AND
TYPICAL SECTIONS

WALTON CAD

1621 LAWRENCE ROAD, DELAWARE OHIO 43015

| REVISIONS | | DESCRIPTION |
|---------------------|------|-------------|
| NO. | DATE | |
| | | |
| | | |
| | | |
| | | |
| | | |
| DATE: 01/29/2026 | | |
| JOB NO.: | | 2026-05 |
| DESIGN: | | NBH |
| CHECKED: | | NBH |
| SHEET NO. | | |
| 2 | | |

PLANS PREPARED FOR:

PLANS PREPARED BY:

brackengineering

NATHAN HARRINGTON
5659 GREYSTONE LN
HILLIARD, OH 43026
E: NHARRINGTON@BRACKENG.COM
P: 614.506.3662

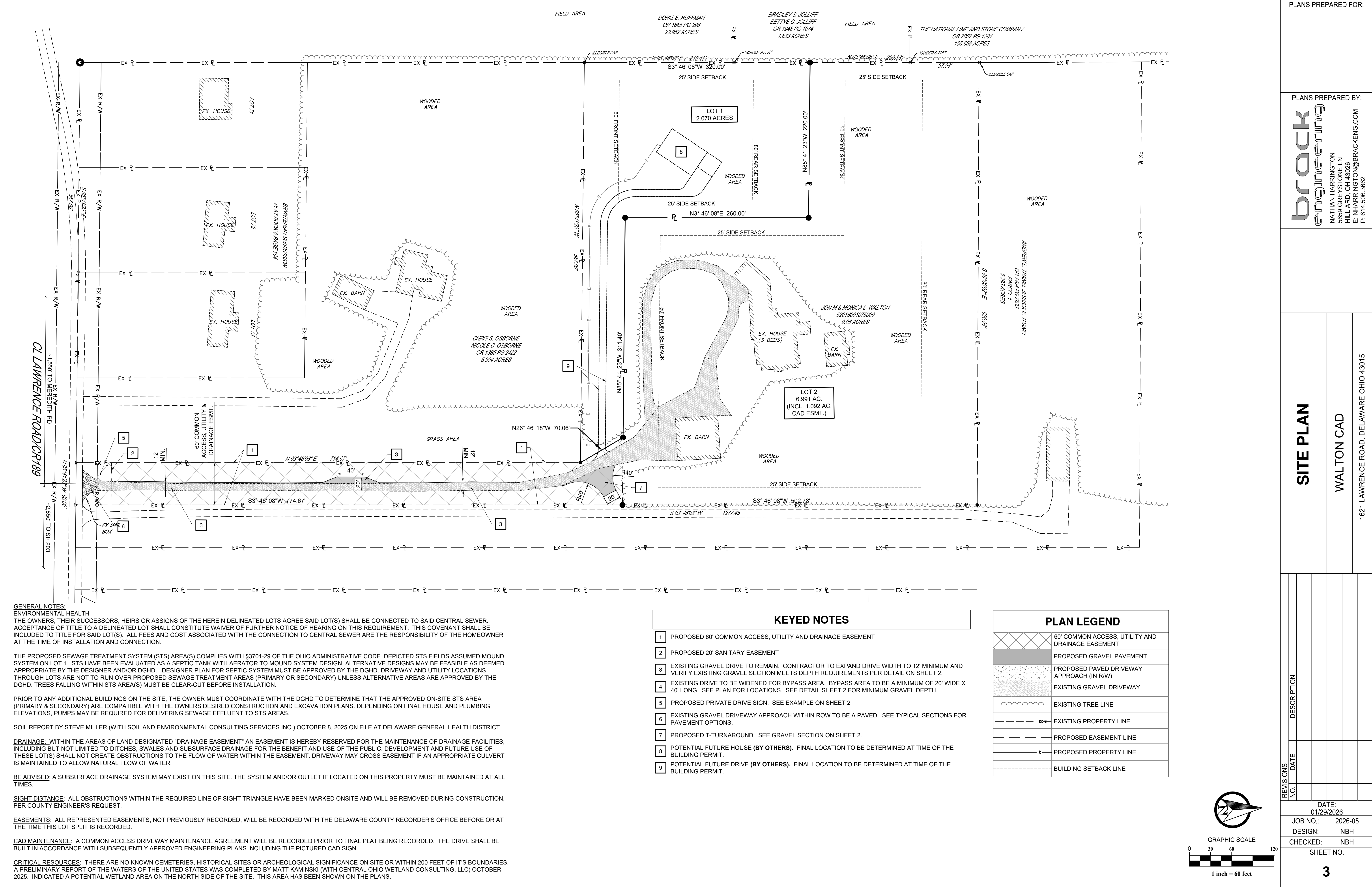
SITE PLAN

WALTON CAD

1621 LAWRENCE ROAD, DELAWARE OHIO 43015

| REVISIONS | NO. | DATE | DESCRIPTION |
|-----------|-----|------|-------------|
| | | | |
| | | | |
| | | | |
| | | | |
| | | | |

| | |
|------------|---------|
| DATE: | |
| 01/29/2026 | |
| JOB NO.: | 2026-05 |
| DESIGN: | NBH |
| CHECKED: | NBH |
| SHEET NO. | |



GENERAL NOTES:
ENVIRONMENTAL HEALTH
THE OWNERS, THEIR SUCCESSORS, HEIRS OR ASSIGNS OF THE HEREIN DELINEATED LOTS AGREE SAID LOT(S) SHALL BE CONNECTED TO SAID CENTRAL SEWER. ACCEPTANCE OF TITLE TO A DELINEATED LOT SHALL CONSTITUTE WAIVER OF FURTHER NOTICE OF HEARING ON THIS REQUIREMENT. THIS COVENANT SHALL BE INCLUDED TO TITLE FOR SAID LOT(S). ALL FEES AND COST ASSOCIATED WITH THE CONNECTION TO CENTRAL SEWER ARE THE RESPONSIBILITY OF THE HOMEOWNER AT THE TIME OF INSTALLATION AND CONNECTION.

THE PROPOSED SEWAGE TREATMENT SYSTEM (STS) AREA(S) COMPLIES WITH §3701-29 OF THE OHIO ADMINISTRATIVE CODE. DEPICTED STS FIELDS ASSUMED MOUND SYSTEM ON LOT 1. STS HAVE BEEN EVALUATED AS A SEPTIC TANK WITH AERATOR TO MOUND SYSTEM DESIGN. ALTERNATIVE DESIGNS MAY BE FEASIBLE AS DEEMED APPROPRIATE BY THE DESIGNER AND/OR DGHD. DESIGNER PLAN FOR SEPTIC SYSTEM MUST BE APPROVED BY THE DGHD. DRIVEWAY AND UTILITY LOCATIONS THROUGH LOTS ARE NOT TO RUN OVER PROPOSED SEWAGE TREATMENT AREAS (PRIMARY OR SECONDARY) UNLESS ALTERNATIVE AREAS ARE APPROVED BY THE DGHD. TREES FALLING WITHIN STS AREA(S) MUST BE CLEAR-CUT BEFORE INSTALLATION.

PRIOR TO ANY ADDITIONAL BUILDINGS ON THE SITE, THE OWNER MUST COORDINATE WITH THE DGHD TO DETERMINE THAT THE APPROVED ON-SITE STS AREA (PRIMARY & SECONDARY) ARE COMPATIBLE WITH THE OWNERS DESIRED CONSTRUCTION AND EXCAVATION PLANS. DEPENDING ON FINAL HOUSE AND PLUMBING ELEVATIONS, PUMPS MAY BE REQUIRED FOR DELIVERING SEWAGE EFFLUENT TO STS AREAS.

SOIL REPORT BY STEVE MILLER (WITH SOIL AND ENVIRONMENTAL CONSULTING SERVICES INC.) OCTOBER 8, 2025 ON FILE AT DELAWARE GENERAL HEALTH DISTRICT.

DRAINAGE: WITHIN THE AREAS OF LAND DESIGNATED "DRAINAGE EASEMENT" AN EASEMENT IS HEREBY RESERVED FOR THE MAINTENANCE OF DRAINAGE FACILITIES, INCLUDING BUT NOT LIMITED TO DITCHES, SWALES AND SUBSURFACE DRAINAGE FOR THE BENEFIT AND USE OF THE PUBLIC. DEVELOPMENT AND FUTURE USE OF THESE LOT(S) SHALL NOT CREATE OBSTRUCTIONS TO THE FLOW OF WATER WITHIN THE EASEMENT. DRIVEWAY MAY CROSS EASEMENT IF AN APPROPRIATE CULVERT IS MAINTAINED TO ALLOW NATURAL FLOW OF WATER.

BE ADVISED: A SUBSURFACE DRAINAGE SYSTEM MAY EXIST ON THIS SITE. THE SYSTEM AND/OR OUTLET IF LOCATED ON THIS PROPERTY MUST BE MAINTAINED AT ALL TIMES.

SIGHT DISTANCE: ALL OBSTRUCTIONS WITHIN THE REQUIRED LINE OF SIGHT TRIANGLE HAVE BEEN MARKED ONSITE AND WILL BE REMOVED DURING CONSTRUCTION, PER COUNTY ENGINEER'S REQUEST.

EASEMENTS: ALL REPRESENTED EASEMENTS, NOT PREVIOUSLY RECORDED, WILL BE RECORDED WITH THE DELAWARE COUNTY RECORDER'S OFFICE BEFORE OR AT THE TIME THIS LOT SPLIT IS RECORDED.

CAD MAINTENANCE: A COMMON ACCESS DRIVEWAY MAINTENANCE AGREEMENT WILL BE RECORDED PRIOR TO FINAL PLAT BEING RECORDED. THE DRIVE SHALL BE BUILT IN ACCORDANCE WITH SUBSEQUENTLY APPROVED ENGINEERING PLANS INCLUDING THE PICTURED CAD SIGN.

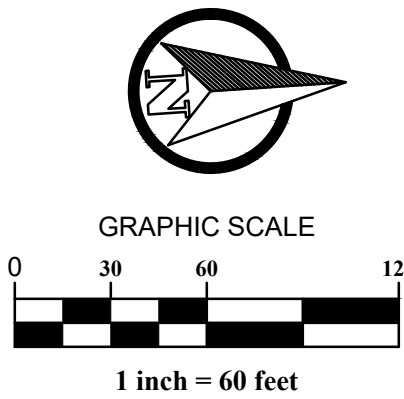
CRITICAL RESOURCES: THERE ARE NO KNOWN CEMETERIES, HISTORICAL SITES OR ARCHEOLOGICAL SIGNIFICANCE ON SITE OR WITHIN 200 FEET OF IT'S BOUNDARIES. A PRELIMINARY REPORT OF THE WATERS OF THE UNITED STATES WAS COMPLETED BY MATT KAMINSKI (WITH CENTRAL OHIO WETLAND CONSULTING, LLC) OCTOBER 2025. INDICATED A POTENTIAL WETLAND AREA ON THE NORTH SIDE OF THE SITE. THIS AREA HAS BEEN SHOWN ON THE PLANS.

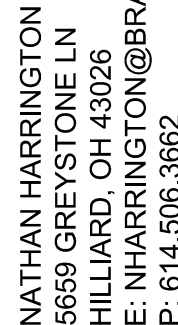
KEYED NOTES

- PROPOSED 60' COMMON ACCESS, UTILITY AND DRAINAGE EASEMENT
- PROPOSED 20' SANITARY EASEMENT
- EXISTING GRAVEL DRIVE TO REMAIN. CONTRACTOR TO EXPAND DRIVE WIDTH TO 12' MINIMUM AND VERIFY EXISTING GRAVEL SECTION MEETS DEPTH REQUIREMENTS PER DETAIL ON SHEET 2.
- EXISTING DRIVE TO BE WIDENED FOR BYPASS AREA. BYPASS AREA TO BE A MINIMUM OF 20' WIDE X 40' LONG. SEE PLAN FOR LOCATIONS. SEE DETAIL SHEET 2 FOR MINIMUM GRAVEL DEPTH.
- PROPOSED PRIVATE DRIVE SIGN. SEE EXAMPLE ON SHEET 2
- EXISTING GRAVEL DRIVEWAY APPROACH WITHIN ROW TO BE A PAVED. SEE TYPICAL SECTIONS FOR PAVEMENT OPTIONS.
- PROPOSED T-TURNAROUND. SEE GRAVEL SECTION ON SHEET 2.
- POTENTIAL FUTURE HOUSE (**BY OTHERS**). FINAL LOCATION TO BE DETERMINED AT TIME OF THE BUILDING PERMIT.
- POTENTIAL FUTURE DRIVE (**BY OTHERS**). FINAL LOCATION TO BE DETERMINED AT TIME OF THE BUILDING PERMIT.

PLAN LEGEND

| | |
|--|--|
| | 60' COMMON ACCESS, UTILITY AND DRAINAGE EASEMENT |
| | PROPOSED GRAVEL PAVEMENT |
| | PROPOSED PAVED DRIVEWAY APPROACH (IN R/W) |
| | EXISTING GRAVEL DRIVEWAY |
| | EXISTING TREE LINE |
| | EXISTING PROPERTY LINE |
| | PROPOSED EASEMENT LINE |
| | PROPOSED PROPERTY LINE |
| | BUILDING SETBACK LINE |





WALTON CAD

1621 LAWRENCE ROAD, DELAWARE OHIO 43015






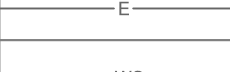
| REVISIONS | | DESCRIPTION |
|---------------------|------|-------------|
| NO. | DATE | |
| | | |
| | | |
| | | |
| | | |
| DATE: 01/29/2026 | | |
| JOB NO.: | | 2026-05 |
| DESIGN: | | NBH |
| CHECKED: | | NBH |
| SHEET NO. | | |
| 4 | | |

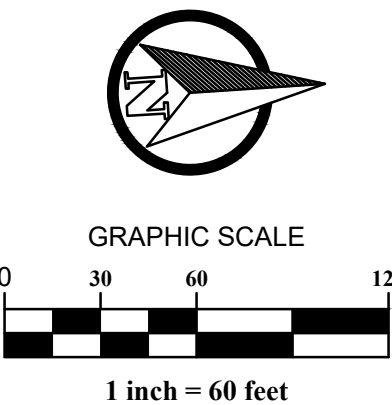


OWNERS/ CONTRACTORS OF FUTURE LOTS SHALL CREATE POSITIVE DRAINAGE AROUND MOUND SEPTIC SYSTEMS AND ENSURE DRAINAGE IS NOT BLOCKED UPSTREAM OR PONDING OCCURS AROUND MOUND SYSTEMS.

POTENTIAL SUBSURFACE DRAINAGE SYSTEM (FIELD TILES) HAVE BEEN SHOWN ON THIS PLAN BASED ON COUNTY AERIAL PHOTOGRAPHY. ADDITIONAL TILES MAY EXIST ON THE PROPERTY THAT ARE NOT SHOWN. IF ENCOUNTERED DURING CONSTRUCTION THE CONTRACTORS SHALL BE RESPONSIBLE TO MAINTAIN AT ALL TIMES. IT WILL BE THE CONTRACTORS/ FUTURE LAND OWNERS RESPONSIBILITY TO REPAIR, REPLACE AND/OR RE-ROUTED AS NEEDED TO MAINTAIN SYSTEM.

| | |
|---|---|
| 1 | APPROXIMATE LOCATION OF EXISTING ELECTRICAL SERVICE TO EXISTING HOUSE. CONTRACTOR TO PROTECT IN PLACE. |
| 2 | APPROXIMATE LOCATION OF EXISTING WATER SERVICE TO EXISTING HOUSE. CONTRACTOR TO PROTECT IN PLACE. |
| 3 | POTENTIAL FUTURE WATER SERVICE LINE (BY OTHERS) |
| 4 | POTENTIAL FUTURE ELECTRIC SERVICE LINE (SERVICE LAYOUT AND LOCATION TO BE DESIGNED BY OTHERS) |
| 5 | POTENTIAL PRIMARY AND SECONDARY 150"x30" STS FIELD (BY OTHERS) . FINAL SIZE AND LOCATION TO BE DETERMINED BY FUTURE LAND OWNER. DISPOSAL SYSTEMS SHALL NOT VIOLATE OAC 3701-29. STS FIELDS TO BE 10' FROM ANY PROPERTY LINE OR EASEMENT AND 50' FROM WATER COURSE. |

| PLAN LEGEND | |
|---|---|
|  | EXISTING PROPERTY LINE |
|  | PROPOSED EASEMENT LINE |
|  | PROPOSED PROPERTY LINE |
|  | FUTURE ELECTRIC SERVICE (BY OTHERS) |
|  | FUTURE WATER SERVICE (BY OTHERS) |
|  | POTENTIAL SEPTIC FIELD. (AREA TO REMAIN UNDISTURBED) |



PLANS PREPARED FOR:

PLANS PREPARED BY:

brock
engineering
NATHAN HARRINGTON
5659 GREYSTONE LN
HILLIARD, OH 43026
E: NHARRINGTON@BRACKENG.COM
P: 614.506.3662

GRADING & DRAINAGE PLAN

WALTON CAD

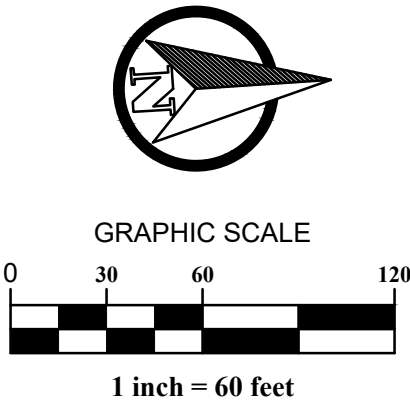
1621 LAWRENCE ROAD, DELAWARE OHIO 43015

NOTE TO CONTRACTOR / FUTURE LOT OWNERS

OWNERS/ CONTRACTORS OF FUTURE LOTS SHALL CREATE POSITIVE DRAINAGE AROUND MOUND SEPTIC SYSTEMS AND ENSURE DRAINAGE IS NOT BLOCKED UPSTREAM OR PONDING OCCURS AROUND MOUND SYSTEMS.

POTENTIAL SUBSURFACE DRAINAGE SYSTEM (FIELD TILES) HAVE BEEN SHOWN ON THIS PLAN BASED ON COUNTY AERIAL PHOTOGRAPHY. ADDITIONAL TILES MAY EXIST ON THE PROPERTY THAT ARE NOT SHOWN. IF ENCOUNTERED DURING CONSTRUCTION THE SYSTEM AND/OR OUTLET SHALL BE MAINTAINED AT ALL TIMES. IT WILL BE THE CONTRACTORS/ FUTURE LAND OWNERS RESPONSIBILITY TO REPAIR, REPLACED AND/OR RE-ROUTED AS NEEDED TO MAINTAIN SYSTEM.

| GRADING PLAN LEGEND | |
|---------------------|---|
| | EXISTING CONTOURS |
| | POTENTIAL FUTURE CONTOURS |
| | FLOW ARROW |
| | PROPOSED FINISH GRADE ELEVATION (FINAL FFE & FGE SHALL BE DETERMINED BY FUTURE OWNER) |
| | MAJOR FLOOD ROUTING |
| | PROPOSED SPOT ELEVATION |
| | CONSTRUCTION LIMITS / LIMITS OF DISTURBANCE PRELIMINARY SEPTIC FIELDS: FINAL SIZE AND LOCATION MAY VARY WITH FINAL DESIGN. ALL PROPOSED DISPOSAL SYSTEMS SHALL NOT VIOLATE OAC 3701-29. NO GRADING OR CONSTRUCTION ACTIVITY WITHIN 10' OF SEPTIC FIELDS. |
| | EX. CULVERT |



| REVISIONS | DATE | DESCRIPTION |
|-----------|------|-------------|
| NO. | | |

| | |
|-----------|------------|
| DATE: | 01/29/2026 |
| JOB NO.: | 2026-05 |
| DESIGN: | NBH |
| CHECKED: | NBH |
| SHEET NO. | |