	Preliminary Subdivision Application Delaware County, Ohio (for unincorporated areas only)	RPC Sketch Plan Number _____ RPC Number _____**08-25**_____ *(RPC Staff will assign)*

PROJECT	Evans Farm Section 6 Phase B Revised	*(circle one)* Residential Commercial
TOWNSHIP	Orange	
APPLICANT/ CONTACT	Name: BZ Evans II, LLC & Bavelis Zenios Development, LLC	Phone: (614) 374-1162
	Address: 50 S. Liberty Str, Suite 200	E-mail: zenios@3pillar.com
	City, State, Zip: Powell, Ohio 43065	

PROPERTY OWNER	Name: BZ Evans II, LLC & Bavelis Zenios Development, LLC	Phone: (614) 374-1162
	Address: 50 S. Liberty Str, Suite 200	E-mail: zenios@3pillar.com
	City, State, Zip: Powell, Ohio 43065	

SURVEYOR/ ENGINEER	Name: Kimley-Horn and Associates, Ltd. (Att. Kevin Kershner)	Phone: (614) 348-0765
	Address: 7965 North High Street	E-mail: kevin.kershner@kimley-horn.com
	City, State, Zip: Columbus, Ohio 43235	

LOCATION	*(circle one)* N S E W side of Maple Drive West Road/Street
	approx. feet N S E W of Piatt Road/Street

DETAILS	Is a CAD involved? *yes* *no*	
	Current Land Use: Vacant agricultural land	Del-Co Water *yes* *no*
	Current Zoning District: SFPRD	Private wells *yes* *no*
	Buildable lots: 24 SF Lots	Sanitary Sewer *yes* *no*
	Non-buildable: 0 ac	Electric Provider: AEP
	Total Acreage: 3.53 ac	Gas Provider: Suburban Natural Gas
	Open Space Acreage: 0 ac	School District: Olentangy

SUBMISSION REQUIREMENTS (Sub. Regs. Section 204.02)	4 Folded full-size copies of the Preliminary Plan, indicating Utility and Grading, and one 11" x 17" copy;
	Other Preliminary Engineering components shall be provided electronically to DCEO. PLEASE NOTE: DCEO does not require a separate Preliminary Engineering submission for Common Access Driveways, unless part of a larger subdivision.
	Preliminary Plan in digital format (GIS preferred), Preliminary Waters of the US Report Summary in digital format (pdf preferred);
	PDF of plat, on media or preferably e-mailed to smatlack@co.delaware.oh.us
	Confirmation of receipt (via transmittal form or e-mail) of any additional required information submitted to the Sanitary Engineer's office, and the Health District (if applicable, including the Soil Scientist Report);
	Fee - $500 base, plus $110 per build lot, CADs require additional fees; For commercial and multi-family - $500 base, plus $110 per acre; (Refer to Fee Schedule for Soil and Water and Health fees) $_500.00_____

(Agent for Owner) 4/1/2025

Owner (or agent for owner) and Date

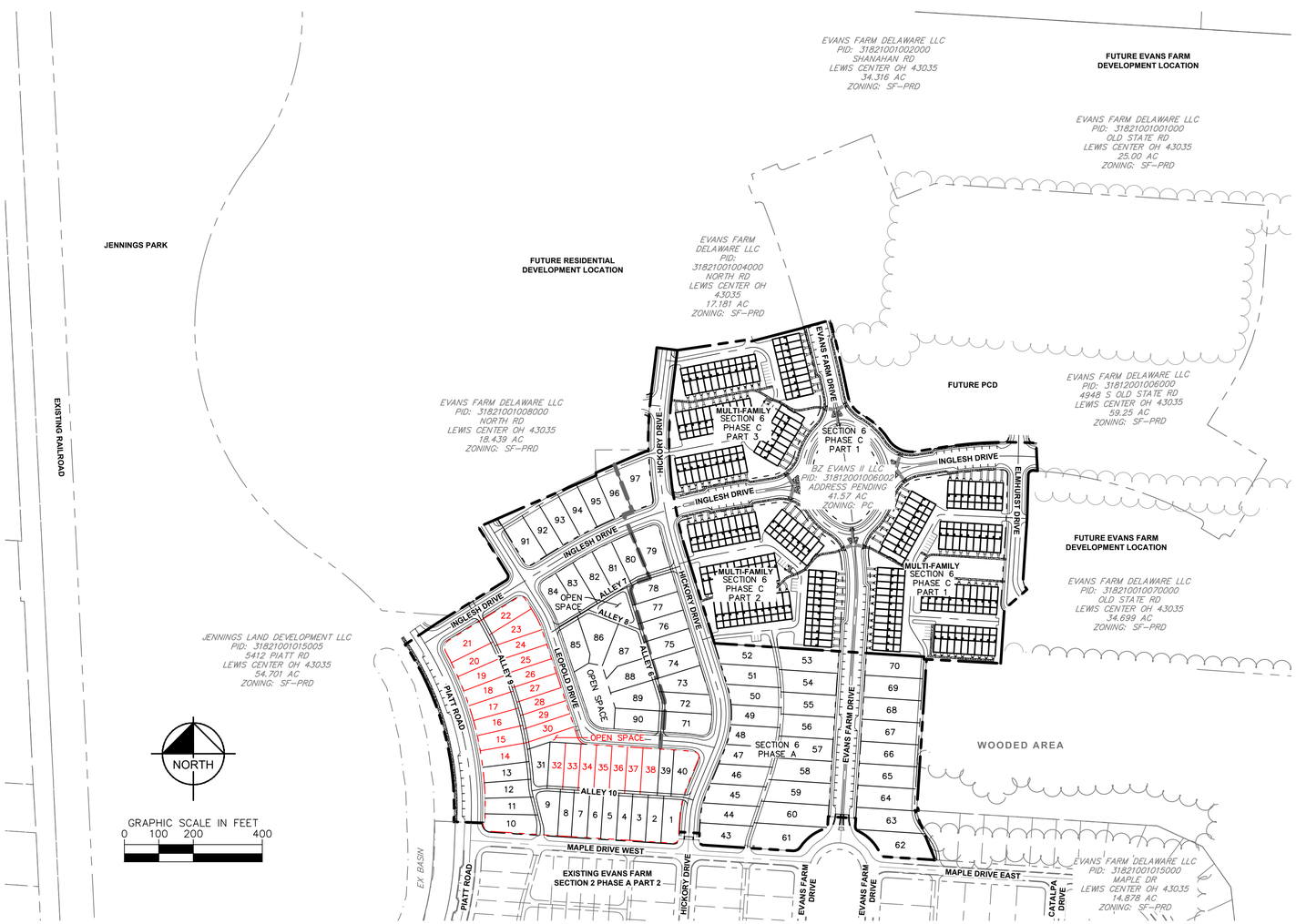
PRELIMINARY ENGINEERING PLAN FOR
EVANS FARM - SECTION 6

LOTS 12, 13, 14 AND 15, SECTION 2, TOWNSHIP 3, RANGE 18, UNITED STATES MILITARY LANDS
ORANGE TOWNSHIP, DELAWARE COUNTY, OHIO

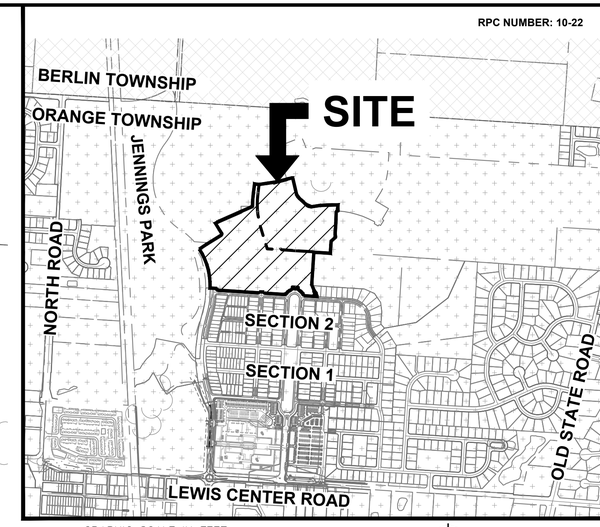
RPC NUMBER: 10-22

SHEET INDEX

SHEET NUMBER	SHEET TITLE
1	TITLE SHEET
2	TYPICAL SECTIONS
3	TYPICAL SECTIONS
4	EXISTING PLAN
5	SITE PLAN
5A	SITE PLAN
5B	SITE PLAN
6	SITE PLAN DETAILS
7	OVAL DETAIL
8	EVANS FARM DRIVE & PIATT ROAD DETAILS
9	UTILITY & GRADING PLAN
9A	UTILITY & GRADING PLAN
9B	UTILITY & GRADING PLAN
10	ROADWAY PROFILES
11	ROADWAY PROFILES
12	ROADWAY PROFILES
13	ROADWAY PROFILES
14	ROADWAY PROFILES
15	ROADWAY PROFILES



INDEX MAP
SCALE: 1"=200'



VICINITY MAP
SCALE: 1"=1000'

NOTES

1. NO CEMETERIES, HISTORICAL, OR ARCHAEOLOGICAL SITES EXIST ON OR NEAR THE PROPERTY

PLAT NOTATIONS:

2. "NON-EXCLUSIVE UTILITY EASEMENTS ARE PLATTED FOR THE CONSTRUCTION, OPERATION AND MAINTENANCE OF PUBLIC AND PRIVATE UTILITIES, STORM WATER MANAGEMENT, AND SERVICE CONNECTIONS THERETO, ABOVE AND BENEATH THE SURFACE OF THE GROUND.";
3. "EASEMENTS ARE GRANTED WITHIN DEDICATED ROAD RIGHT-OF-WAYS, NON-EXCLUSIVE UTILITY EASEMENTS, AND DESIGNATED WATERLINE EASEMENTS TO DEL-CO WATER CO., INC. AND OTHER WATER UTILITIES FOR INSTALLATION AND MAINTENANCE OF WATERLINES, VALVE, METER CROCKS AND APPURTENANCES.";
4. "ON FILE WITH COUNTY ENGINEERING, BUILDING, HEALTH AND PLATTING AUTHORITIES ARE PLANS INDICATING THE NATURE AND LOCATION OF VARIOUS SUBDIVISION IMPROVEMENTS.";
5. UNLESS WAIVED BY SANITARY ENGINEER, A NOTE SHALL BE PLACED ON THE PLAT THAT STATES: "OWNERS, THEIR SUCCESSORS, HEIRS OR ASSIGNS OF THESE LOTS AGREE WHEN A CENTRAL SANITARY SEWER SYSTEM BECOMES AVAILABLE, THE LOT SHALL BE CONNECTED TO IT. ACCEPTANCE OF TITLE TO A LOT IN THIS SUBDIVISION SHALL CONSTITUTE WAIVER OF FUTURE NOTICE OR HEARING ON THIS REQUIREMENT. THIS COVENANT SHALL BE INCLUDED IN CONVEYANCE OF TITLE FOR SAID LOTS.";
6. UNLESS OTHERWISE WAIVED BY THE SANITARY ENGINEER, A NOTE SHALL BE PLACED ON THE PLAT THAT STATES: "SANITARY SEWER EASEMENTS ARE SOLELY FOR CONSTRUCTION, OPERATION AND MAINTENANCE OF PUBLIC AND/OR PRIVATE SANITARY SEWERS AND SERVICE CONNECTIONS, AND MAY BE CROSSED BY OTHER UTILITIES.";
7. IF A PLAT INCLUDES A COMMON ACCESS DRIVEWAY, A NOTE SHALL BE PLACED ON THE PLAT THAT STATES: "APPROVAL OF THIS PLAT BY THE DELAWARE COUNTY REGIONAL PLANNING COMMISSION, THE DELAWARE COUNTY COMMISSIONERS AND/OR ANY OTHER GOVERNMENTAL AUTHORITY SHALL IN NO WAY CONSTITUTE A DEDICATION OR ACCEPTANCE OF THE COMMON ACCESS DRIVEWAY SHOWN THEREON, AND ALL SUCH COMMON ACCESS DRIVEWAY(S) SHALL BE AND REMAIN A PRIVATE ACCESS WAY. THE DELAWARE COUNTY REGIONAL PLANNING COMMISSION, THE DELAWARE COUNTY COMMISSIONERS AND EVERY OTHER PUBLIC AUTHORITY SIGNING THIS PLAT SHALL HAVE NO RESPONSIBILITY OR LIABILITY FOR OR ARISING OUT OF THE CONSTRUCTION, IMPROVEMENT, MAINTENANCE AND/OR USE OF ANY SUCH COMMON ACCESS DRIVEWAY. THE OWNERS OF THESE LOTS AND THEIR SUCCESSORS AND ASSIGNS AGREE TO AND SHALL BE BOUND BY THE FOREGOING PROVISION, WHICH PROVISION SHALL BE DEEMED TO BE AND IS A COVENANT RUNNING WITH THE LAND.";
8. IF A PLAT INCLUDES A PRIVATE STREET, A NOTE SHALL BE PLACED ON THE PLAT THAT STATES: "APPROVAL OF THIS PLAT BY THE DELAWARE COUNTY REGIONAL PLANNING COMMISSION, THE DELAWARE COUNTY COMMISSIONERS AND/OR ANY OTHER GOVERNMENTAL AUTHORITY SHALL IN NO WAY CONSTITUTE A DEDICATION OR ACCEPTANCE OF THE PRIVATE STREET SHOWN THEREON, AND ALL SUCH PRIVATE STREET(S) SHALL BE AND REMAIN A PRIVATE ACCESS WAY. THE DELAWARE COUNTY REGIONAL PLANNING COMMISSION, THE DELAWARE COUNTY COMMISSIONERS AND EVERY OTHER PUBLIC AUTHORITY SIGNING THIS PLAT SHALL HAVE NO RESPONSIBILITY OR LIABILITY FOR OR ARISING OUT OF THE CONSTRUCTION, IMPROVEMENT, MAINTENANCE AND/OR USE OF ANY SUCH PRIVATE STREET. THE OWNERS OF THESE LOTS AND THEIR SUCCESSORS AND ASSIGNS AGREE TO AND SHALL BE BOUND BY THE FOREGOING PROVISION, WHICH PROVISION SHALL BE DEEMED TO BE AND IS A COVENANT RUNNING WITH THE LAND.";
9. UNLESS OTHERWISE WAIVED BY THE COUNTY ENGINEER, A NOTE SHALL BE PLACED ON THE PLAT THAT STATES: "BE ADVISED: A SUB-SURFACE DRAINAGE SYSTEM MAY EXIST ON THIS SITE. THE SYSTEM AND/OR OUTLET IF LOCATED ON THIS PROPERTY MUST BE MAINTAINED AT ALL TIMES.";
10. A NOTE SHALL BE PLACED ON THE PLAT THAT STATES: "ZONING SETBACKS REFLECT CURRENT ZONING STANDARDS AT THE TIME OF THE ZONING INSPECTOR'S SIGNATURE OF THE FINAL PLAT AND ARE NOT SUBDIVISION PLAT RESTRICTIONS."

FLOOD PLAIN

THE SITE AREA IS ENTIRELY IN ZONE X, AREAS DETERMINED TO BE OUTSIDE THE 100 YEAR FLOODPLAIN AS DELINEATED ON FEMA FLOOD INSURANCE RATE MAP, DELAWARE COUNTY, OHIO AND INCORPORATED AREAS MAP NUMBER 39041C0234K WITH EFFECTIVE DATE OF APRIL 16, 2009.

REFERENCES

1. EXISTING BASE MAP INFORMATION OBTAINED FROM DELAWARE COUNTY GIS. SEPTEMBER 2021.
2. EXISTING TOPOGRAPHIC INFORMATION IS OBTAINED FROM OHIO GEOGRAPHICALLY REFERENCED INFORMATION PROGRAM ACCESSED SEPTEMBER 2021 AND FIELD RUN SURVEY PERFORMED BY CESO, INC. ON 02/23/2022.

SITE STATISTICS

	ORANGE TOWNSHIP
CURRENT ZONING:	PCD & SFPRD
TOTAL SITE AREA:	+/- 42.13 ACRES
DISTURBED ACREAGE:	+/- 43.42 ACRES

* ADDITIONAL DISTURBED AREA DUE TO EX BASIN EXPANSION

PCD	
AREA:	17.279 ACRES
NUMBER OF DWELLING UNITS:	159 UNITS
DWELLING UNIT DENSITY:	9.20 DU/AC
REAR YARD SETBACK:	20 FT
FRONT YARD SETBACK:	6 FT
SIDE YARD SETBACK:	6 FT
LOT AREA =	11.699 AC
ROW AREA =	4.30 AC
RESERVE AREA =	1.28 AC

SFPRD	
AREA:	24.851 AC
NUMBER OF DWELLING UNITS:	95 LOTS
DWELLING UNIT DENSITY:	3.82 DU/AC
NOTE: LOT NUMBERS 41 & 42 OMITTED	
LOT AREA =	18.241 AC
ROW AREA =	6.49 AC
RESERVE AREA =	0.57 AC
TERRAIN CLASSIFICATION:	LEVEL
MIN. LOT SIZE:	5,400 SF
MIN. LOT FRONTAGE:	40 FT
MIN. SIDE SET BACK:	6 FT
REAR YARD SETBACK:	35 FT

CIVIL ENGINEER
KIMLEY-HORN AND ASSOCIATES, INC.
7965 N HIGH ST., SUITE 200
COLUMBUS, OH 43235
TEL: (614) 472-8963
CONTACT: KEVIN KERSHNER
EMAIL: KEVIN.KERSHNER@KIMLEY-HORN.COM

OWNER/DEVELOPER
BZ EVANS II, LLC & BAVELIS ZENIOS DEVELOPMENT, LLC
50 S LIBERTY ST., SUITE 200
POWELL, OH 43065
TEL: (614) 565-0427

SURVEYOR
TOPOGRAPHY
CESO, INC.
2800 CORPORATE EXCHANGE DR., SUITE 400
COLUMBUS, OHIO 43231
CONTACT: JEFF MILLER
PHONE: (614) 794-7080
EMAIL: JEFF.MILLER@CESOINC.COM

BOUNDARY
KORDA/NEMETH ENGINEERING, INC.
1650 WATERMARK DR., SUITE 200
COLUMBUS, OHIO 43215

VARIANCE TABLE

NO.	DESIGN SECTION	VARIANCE REQUEST	APPROVAL	DATE
1	ARTICLE VI, TABLE 602-2	MINIMUM RADII ON THE ELONGATED ROUNDABOUT "OVAL" FROM 350' TO 140'	YES	4/30/2018
2	ARTICLE VI, SECTION 601	MINIMUM TANGENT DISTANCE. REQUEST REMOVAL OF THE REQUIREMENT FOR CURVES ON PIATT ROAD AT STATIONS 234+91 & 247+24	YES	4/30/2018
3	ARTICLE VI, TABLE 604	MINIMUM TANGENT DISTANCE. REQUEST REMOVAL FOR LARGE RADIUS CURVES AT ELMHURST DRIVE AND INGLESH DRIVE, HICKORY DRIVE AND INGLESH DRIVE, INGLESH DRIVE AND PIATT ROAD	YES	4/30/2018

COUNTY ENGINEER
DELAWARE COUNTY, OHIO

No.	REVISIONS	DATE	BY	APR DATE	APR BY

Kimley»Horn
© 2022 KIMLEY-HORN AND ASSOCIATES, INC.
7965 N. HIGH STREET, SUITE 200
COLUMBUS, OH 43235
PHONE: 614-472-8963
WWW.KIMLEY-HORN.COM

SCALE: AS NOTED
DESIGNED BY: RBG
DRAWN BY: ANF
CHECKED BY: KDK

TITLE SHEET

EVANS FARM - SECTION 6
ORANGE TOWNSHIP
DELAWARE COUNTY, OHIO

ORIGINAL ISSUE: 8/26/2024
KHA PROJECT NO. 190096007

SHEET NUMBER
1
OF 15

Drawing name: K:\CLB_LDEV\190096001 Evans Farm Phase 4&5 Delaware County OH\2 Design\CAD\PlanSheets\Section 6\Preliminary Engineering\TITLE SHEET_REVISION.dwg Layout1 Apr 01, 2025 8:33am by: Gail.Hoeppner
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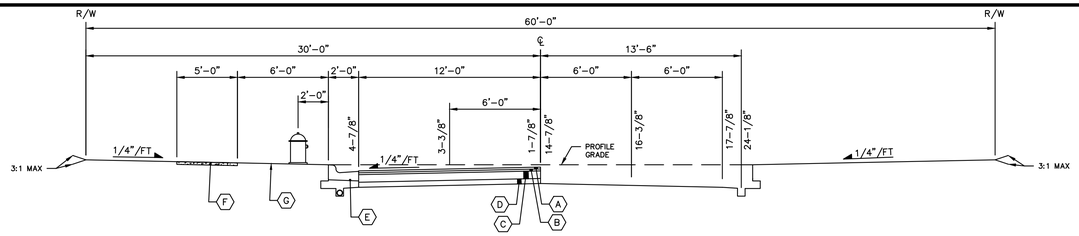


TYPICAL 27' FC/FC (60' R/W) LOCAL STREET SECTION PER DCED-R2135C

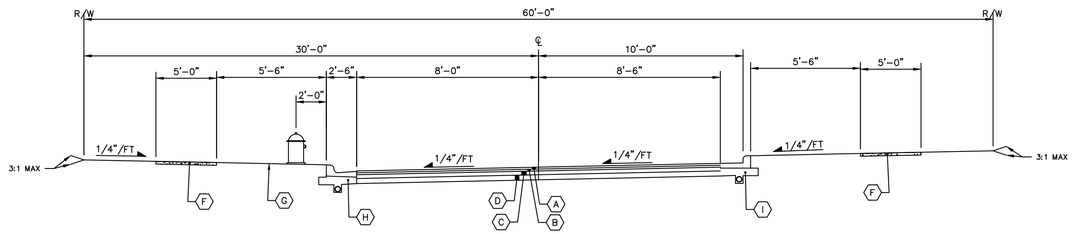
NOT TO SCALE

200 VPD < ADT < 1500 VPD
DESIGN SPEED: 30 MPH

ELMHURST DRIVE
STA. 8+46.14 TO STA. 11+94.96

INGLESH DRIVE
STA. 1+57.01 TO STA. 2+52.11
STA. 2+97.13 TO STA. 3+86.50
STA. 4+93.50 TO STA. 8+37.47

HICKORY DRIVE
STA. 1+00.00 TO STA. 1+83.05
STA. 2+27.62 TO STA. 3+08.21
STA. 4+32.31 TO STA. 8+85.58
STA. 9+35.58 TO STA. 10+23.92
STA. 11+54.69 TO STA. 12+26.89
STA. 12+78.50 TO STA. 13+37.62
STA. 14+40.44 TO STA. 15+55.69

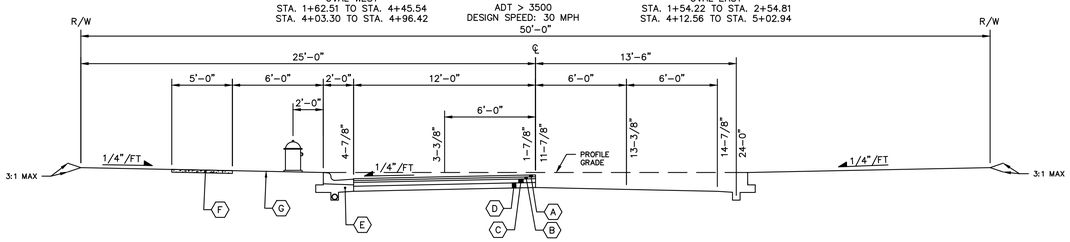


TYPICAL 20' FC/FC (60' R/W) MAJOR COLLECTOR STREET SECTION PER DCED-R2135C

NOT TO SCALE
ADT > 3500
DESIGN SPEED: 30 MPH

OVAL WEST
STA. 1+62.51 TO STA. 4+45.54
STA. 4+03.30 TO STA. 4+96.42

OVAL EAST
STA. 1+54.22 TO STA. 2+54.81
STA. 4+12.56 TO STA. 5+02.94

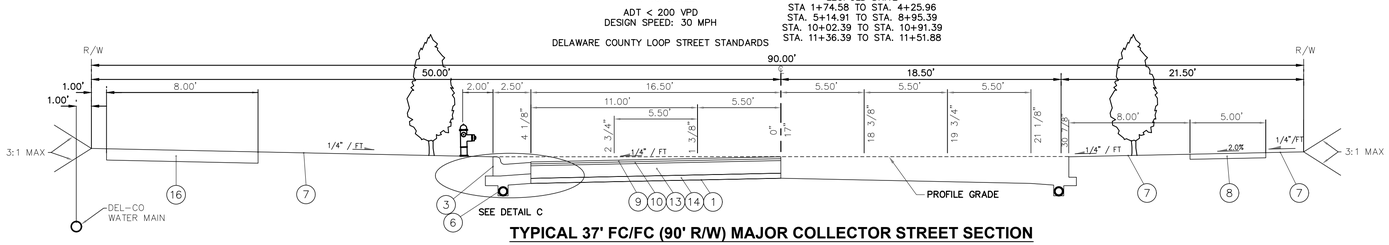


TYPICAL 27' FC/FC (50' R/W) LOCAL STREET SECTION PER DCED-R2135D

NOT TO SCALE
ADT < 200 VPD
DESIGN SPEED: 30 MPH

DELAWARE COUNTY LOOP STREET STANDARDS

LEOPOLD DRIVE
STA 1+74.58 TO STA. 4+25.96
STA. 5+14.91 TO STA. 8+95.39
STA. 10+02.39 TO STA. 10+91.39
STA. 11+36.39 TO STA. 11+51.88

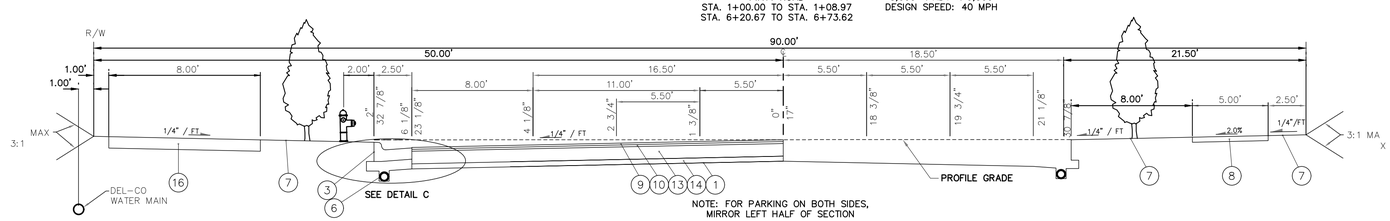


TYPICAL 37' FC/FC (90' R/W) MAJOR COLLECTOR STREET SECTION

NOT TO SCALE

PIATT ROAD
STA. 1+00.00 TO STA. 1+08.97
STA. 6+20.67 TO STA. 6+73.62

5,000 < ADT < 9,500
DESIGN SPEED: 40 MPH



NOTE: FOR PARKING ON BOTH SIDES, MIRROR LEFT HALF OF SECTION

TYPICAL 45' FC/FC (90' R/W) MAJOR COLLECTOR STREET SECTION WITH PARKING

NOT TO SCALE

PIATT ROAD

5,000 < ADT < 9,500
DESIGN SPEED: 40 MPH

PARKING RT
STA. 3+06.57 TO STA. 4+23.07

PARKING LT
STA. 5+79.33 TO STA. 5+95.34

PARKING BOTH SIDES
STA. 1+08.97 TO STA. 3+06.57
STA. 4+23.07 TO STA. 5+79.33

PAVEMENT LEGEND

A. 1-1/2" ASPHALT CONCRETE SURFACE COURSE, ITEM 441
B. 1-1/2" ASPHALT CONCRETE INTERMEDIATE COURSE, ITEM 441
C. 6" BITUMINOUS AGGREGATE BASE, ITEM 301
C1. 10" BITUMINOUS AGGREGATE BASE, ITEM 301
D. 4" CRUSHED AGGREGATE BASE, ITEM 304
E. 6" CONCRETE COMBINED CURB & GUTTER PER DRAWING DCED-R2010 (SEE DETAIL D)
F. STANDARD SIDEWALK (4" THICK) PER DRAWING DCED-R2300
G. SEEDING AND MULCHING, ITEM 659
H. 6" CONCRETE COMBINED CURB & GUTTER PER DRAWING DCED-R2022 (SEE DETAIL C)
I. TILT-OUT CURB PER DRAWING DCED-R101B MODIFIED (SEE DETAIL B)

NOTES:

1. CBR VALUE (SECTION 705) = 2.9
   SN VALUE = 3.71
2. ALL STREETS HAVE A TERRAIN CLASSIFCATION LEVEL (0% TO 4% GRADES)

PAVEMENT LEGEND (PER DCED-R2135D)

A. 1-1/2" ASPHALT CONCRETE SURFACE COURSE, ITEM 441
B. 1-1/2" ASPHALT CONCRETE INTERMEDIATE COURSE, ITEM 441
C. 3" BITUMINOUS AGGREGATE BASE, ITEM 301
D. 4" CRUSHED AGGREGATE BASE, ITEM 304
E. 6" CONCRETE COMBINED CURB & GUTTER PER DRAWING DCED-R2010 (SEE DETAIL D)
F. STANDARD SIDEWALK (4" THICK) PER DRAWING DCED-R2300
G. SEEDING AND MULCHING, ITEM 659

NOTES:

1. CBR VALUE (SECTION 705) = 2.9
   SN VALUE = 2.66
2. ALL STREETS HAVE A TERRAIN CLASSIFCATION LEVEL (0% TO 4% GRADES)

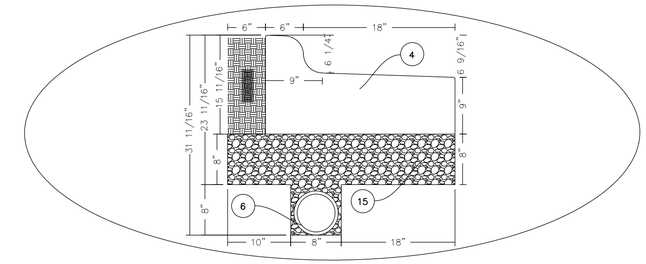
PAVEMENT LEGEND

1. ITEM 203, COMPACTED SUBGRADE
2. ITEM 609, 6" STANDARD CONCRETE COMBINED CURB & GUTTER, DCED-R2010
3. ITEM 609, 9" HEAVY DUTY CONCRETE COMBINED CURB & GUTTER, DCED-R2022 (SEE DETAIL C)
4. ITEM 609, TILT OUT CURB, DCED-R101B (MODIFIED)
5. ITEM 605, 4" PIPE UNDERDRAIN W/ NO.8 OR NO.57 STONE
6. ITEM 605, 6" PIPE UNDERDRAIN W/ NO.8 OR NO.57 STONE
7. ITEM 659, SEEDING & MULCHING
8. ITEM 608, CONCRETE SIDEWALK PER STANDARD DCED-R2300

   DEVELOPER
   -ADA HANDICAP RAMPS
   -SIDEWALK ALONG OPEN SPACE FRONTAGE

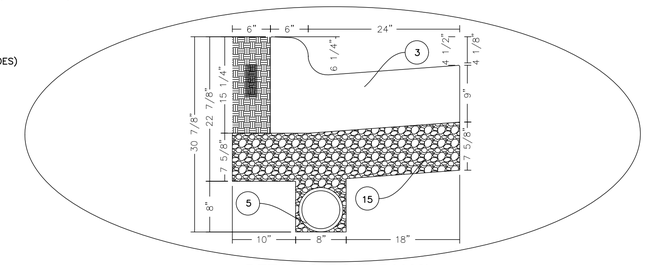
   BUILDER
   -SIDEWALK ALONG LOT FRONTAGE

9. ITEM 448, 1-1/2" ASPHALT CONCRETE SURFACE COURSE, TYPE 1
10. ITEM 448, 1-1/2" ASPHALT CONCRETE INTERMEDIATE COURSE, TYPE 2
11. ITEM 301, 3" BITUMINOUS AGGREGATE BASE
12. ITEM 301, 6" BITUMINOUS AGGREGATE BASE
13. ITEM 301, 10" BITUMINOUS AGGREGATE BASE
14. ITEM 304, 4" CRUSHED AGGREGATE BASE
15. NO. 57 AGGREGATE
16. LEISURE BIKE PATH



DETAIL B (DCED-101B - MODIFIED)

NOT TO SCALE



DETAIL C (DCED-R2022)

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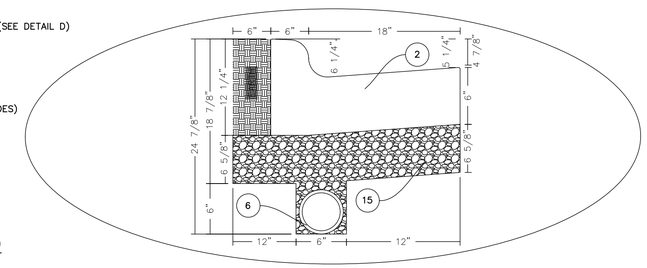
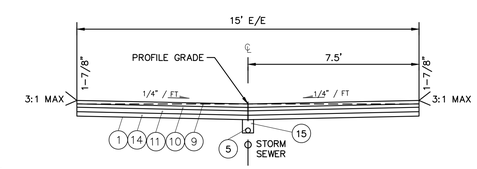


DETAIL D (DCED-R2010)

NOT TO SCALE



TYPICAL PRIVATE ALLEY SECTION (NO PARKING)

NOT TO SCALE

CBR (SECTION 705) = 2.9

No.	REVISIONS	DATE	BY	APR DATE	APR BY

Kimley»Horn

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7965 N. HIGH STREET, SUITE 200
COLUMBUS, OH 43235
PHONE: 614-846-4500
WWW.KIMLEY-HORN.COM

SCALE: AS NOTED
DESIGNED BY: RBG
DRAWN BY: ANF
CHECKED BY: KDK

TYPICAL SECTIONS

EVANS FARM - SECTION 6

ORANGE TOWNSHIP
DELAWARE COUNTY, OHIO

ORIGINAL ISSUE: 8/26/2024

KHA PROJECT NO. 190096007

SHEET NUMBER

2

OF 15

Drawing name: K:\CLB_LDEV\190096001 Evans Farm Phase 4&5 Delaware County OH\2 Design\CAD\PlanSheets\Section 6\Preliminary Engineering\TYPICAL SECTIONS.dwg Layout1 Apr 01, 2025 8:33am by: Gali.Hoeppner
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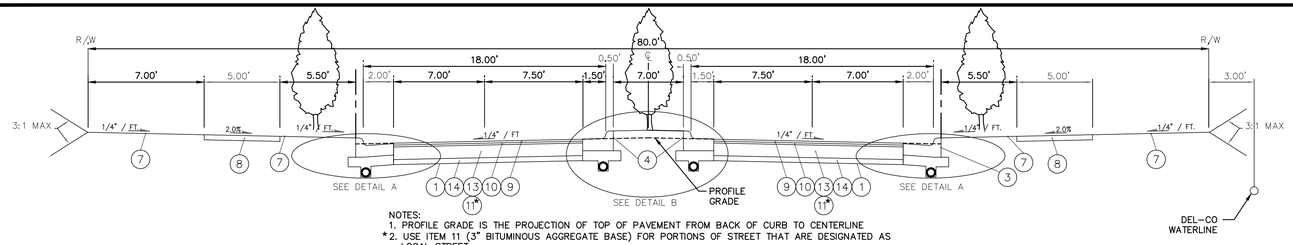


NOTES:
1. PROFILE GRADE IS THE PROJECTION OF TOP OF PAVEMENT FROM BACK OF CURB TO CENTERLINE
*2. USE ITEM 11 (3" BITUMINOUS AGGREGATE BASE) FOR PORTIONS OF STREET THAT ARE DESIGNATED AS LOCAL STREET

TYPICAL NO PARKING 18' FC/FC LANE WITH 7' TREE LAWN (80' R/W) LOCAL STREET SECTION - WEST OF OVAL

NOT TO SCALE

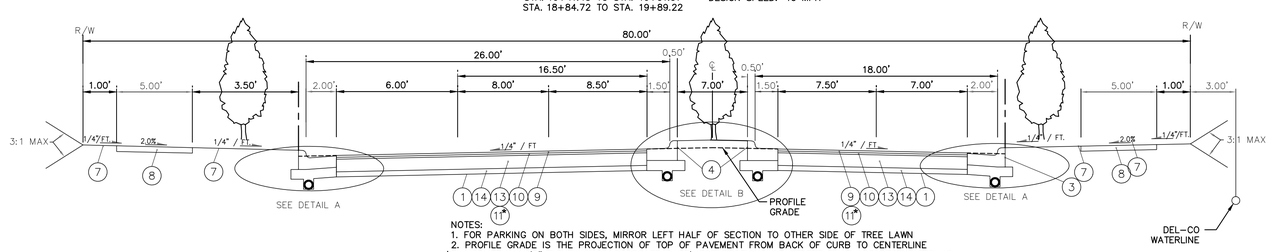
INGLESH DRIVE
STA. 9+49.25 TO STA. 10+22.74
STA. 11+51.89 TO STA. 12+22.02

200 VPD < ADT < 1500 VPD
DESIGN SPEED: 30 MPH

MAJOR COLLECTOR STREET SECTION - EAST OF OVAL

INGLESH DRIVE
STA. 16+41.43 TO STA. 16+91.97
STA. 18+84.72 TO STA. 19+89.22

ADT > 8000 VPD
DESIGN SPEED: 40 MPH



NOTES:
1. FOR PARKING ON BOTH SIDES, MIRROR LEFT HALF OF SECTION TO OTHER SIDE OF TREE LAWN
2. PROFILE GRADE IS THE PROJECTION OF TOP OF PAVEMENT FROM BACK OF CURB TO CENTERLINE
*3. USE ITEM 11 (3" BITUMINOUS AGGREGATE BASE) FOR PORTIONS OF STREET THAT ARE DESIGNATED AS LOCAL STREET

TYPICAL PARKING 26' FC/FC AND 18' FC/FC LANE WITH 7' TREE LAWN (80' R/W) LOCAL STREET SECTION - WEST OF OVAL

NOT TO SCALE

INGLESH DRIVE
PARKING BOTH SIDES
STA. 10+22.74 TO STA. 11+51.89

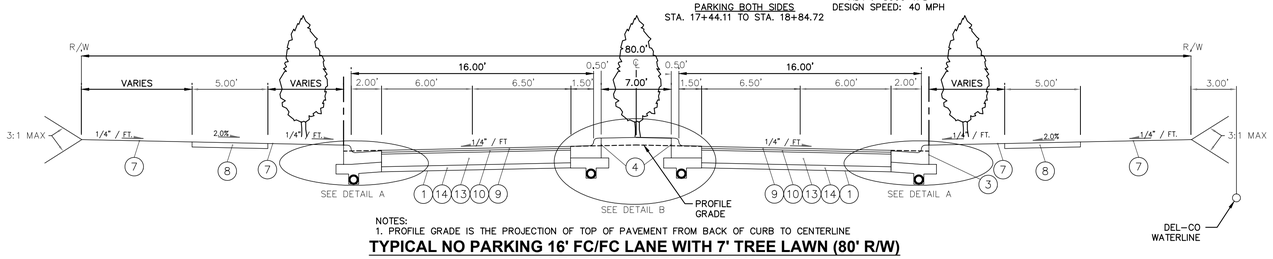
200 VPD < ADT < 1500 VPD
DESIGN SPEED: 30 MPH

PARKING LT
STA. 16+91.97 TO STA. 17+44.11

MAJOR COLLECTOR STREET SECTION - EAST OF OVAL

INGLESH DRIVE
PARKING BOTH SIDES
STA. 17+44.11 TO STA. 18+84.72

ADT > 8000 VPD
DESIGN SPEED: 40 MPH



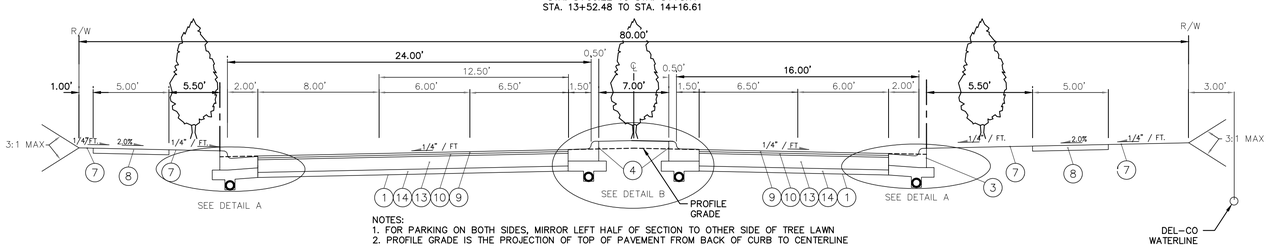
NOTES:
1. PROFILE GRADE IS THE PROJECTION OF TOP OF PAVEMENT FROM BACK OF CURB TO CENTERLINE

TYPICAL NO PARKING 16' FC/FC LANE WITH 7' TREE LAWN (80' R/W) COLLECTOR STREET SECTION

NOT TO SCALE

EVANS FARM DRIVE
STA. 1+30.68 TO STA. 1+47.32
STA. 3+83.32 TO STA. 4+11.32
STA. 8+00.22 TO STA. 8+75.11
STA. 13+52.48 TO STA. 14+16.61

ADT > 3500 VPD
DESIGN SPEED: 30 MPH



NOTES:
1. FOR PARKING ON BOTH SIDES, MIRROR LEFT HALF OF SECTION TO OTHER SIDE OF TREE LAWN
2. PROFILE GRADE IS THE PROJECTION OF TOP OF PAVEMENT FROM BACK OF CURB TO CENTERLINE

TYPICAL PARKING 24' FC/FC AND 16' FC/FC LANE WITH 7' TREE LAWN (80' R/W) COLLECTOR STREET SECTION

NOT TO SCALE

EVANS FARM DRIVE

PARKING BOTH SIDES
STA. 1+47.32 TO STA. 3+83.32
STA. 4+11.32 TO STA. 6+91.32
STA. 15+12.68 TO STA. 15+64.82

ADT > 3500 VPD
DESIGN SPEED: 30 MPH

PARKING RT
STA. 6+91.32 TO STA. 8+00.22

PARKING LT
STA. 14+16.61 TO STA. 15+12.68

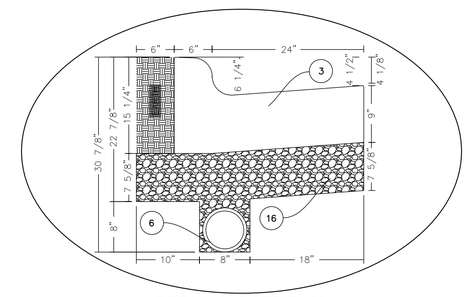
PAVEMENT LEGEND

1. ITEM 203, COMPACTED SUBGRADE
3. ITEM 609, 9" HEAVY DUTY CONCRETE COMBINED CURB & GUTTER, DCED-R2022 (SEE DETAIL A)
4. ITEM 609, TILT OUT CURB, DCED-R101B (MODIFIED) (SEE DETAIL B)
5. ITEM 605, 4" PIPE UNDERDRAIN W/ NO.8 OR NO.57 STONE
6. ITEM 605, 6" PIPE UNDERDRAIN W/ NO.8 OR NO.57 STONE
7. ITEM 659, SEEDING & MULCHING
8. ITEM 608, CONCRETE SIDEWALK PER STANDARD DCED-R2300

   DEVELOPER
   - ADA HANDICAP RAMPS
   - SIDEWALK ALONG OPEN SPACE FRONTAGE

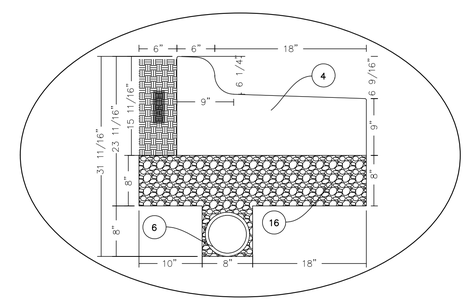
   BUILDER
   - SIDEWALK ALONG LOT FRONTAGE

9. ITEM 441, 1-1/2" ASPHALT CONCRETE SURFACE COURSE, TYPE 1 (448) PG 64-22
10. ITEM 441, 1-1/2" ASPHALT CONCRETE INTERMEDIATE COURSE, TYPE 2 (448) PG 64-22
11. ITEM 301, 3" BITUMINOUS AGGREGATE BASE
13. ITEM 301, 10" BITUMINOUS AGGREGATE BASE
14. ITEM 304, 4" CRUSHED AGGREGATE BASE
15. ITEM 304, 8" CRUSHED AGGREGATE BASE
16. NO. 57 AGGREGATE
17. STABILIZED SHOULDER (SEE DETAIL, THIS SHEET)
18. ITEM 452, 8" NON-REINFORCED CONCRETE PAVEMENT



DETAIL A (DCED-R2022)

NOT TO SCALE



DETAIL B (DCED-101B - MODIFIED)

NOT TO SCALE

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DRAWN BY: ANF
CHECKED BY: KDK

TYPICAL SECTIONS

EVANS FARM - SECTION 6
ORANGE TOWNSHIP
DELAWARE COUNTY, OHIO

ORIGINAL ISSUE: 8/26/2024
KHA PROJECT NO. 190096007

SHEET NUMBER
3
OF 15

Drawing name: K:\CLB_LDEV\190096001 Evans Farm Phase 4&5 Delaware County OH\2 Design\CAD\PlanSheets\Section 6\Preliminary Engineering\TYPICAL SECTIONS.dwg Layout2 Apr 01, 2025 8:33am by: Gail.Hoeppner
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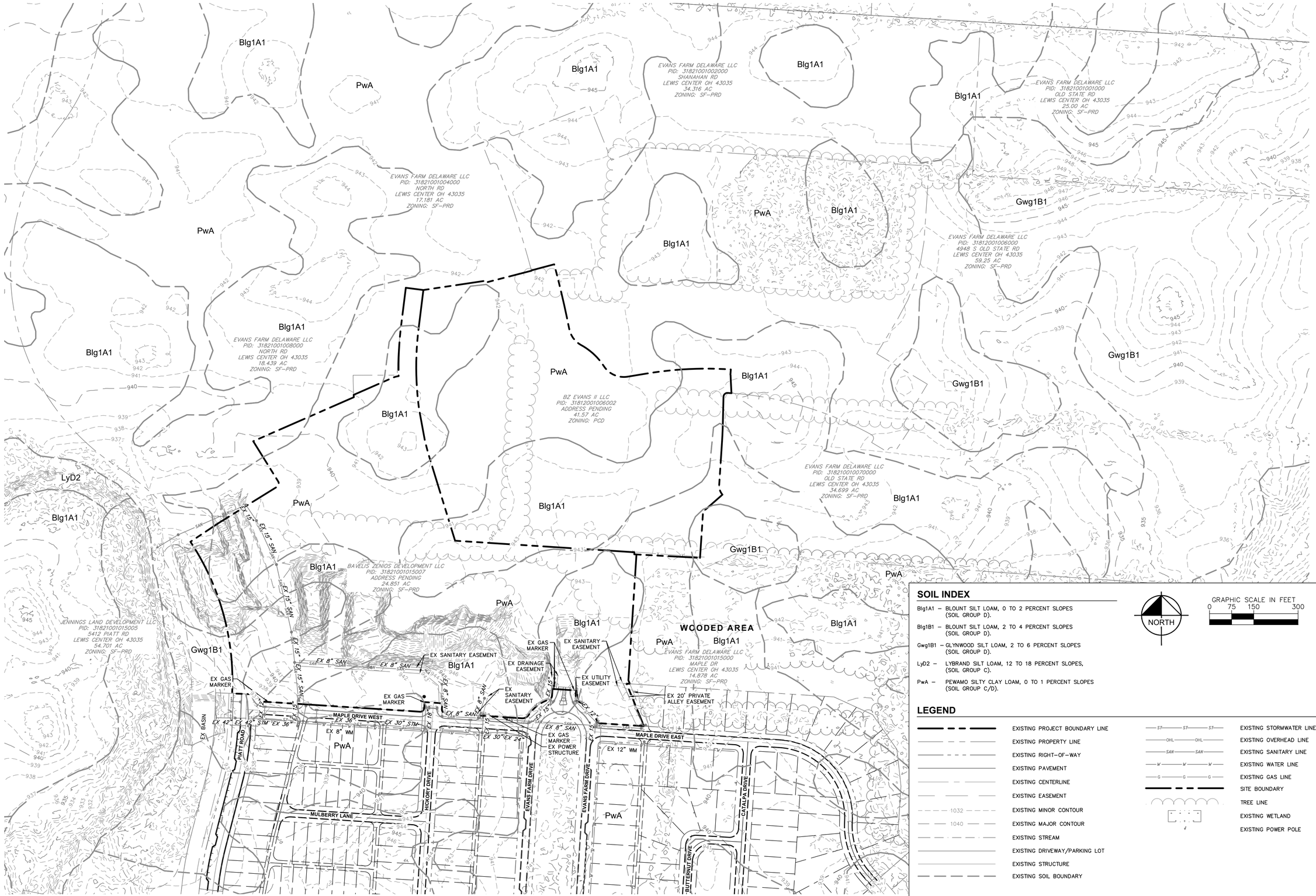

SOIL INDEX

Blg1A1 – BLOUNT SILT LOAM, 0 TO 2 PERCENT SLOPES (SOIL GROUP D).

Blg1B1 – BLOUNT SILT LOAM, 2 TO 4 PERCENT SLOPES (SOIL GROUP D).

Gwg1B1 – GLYNWOOD SILT LOAM, 2 TO 6 PERCENT SLOPES (SOIL GROUP D).

LyD2 – LYBRAND SILT LOAM, 12 TO 18 PERCENT SLOPES, (SOIL GROUP C).

PwA – PEWAMO SILTY CLAY LOAM, 0 TO 1 PERCENT SLOPES (SOIL GROUP C/D).

NORTH

GRAPHIC SCALE IN FEET
0 75 150 300

LEGEND

- EXISTING PROJECT BOUNDARY LINE
- EXISTING PROPERTY LINE
- EXISTING RIGHT-OF-WAY
- EXISTING PAVEMENT
- EXISTING CENTERLINE
- EXISTING EASEMENT
- 1032 EXISTING MINOR CONTOUR
- 1040 EXISTING MAJOR CONTOUR
- EXISTING STREAM
- EXISTING DRIVEWAY/PARKING LOT
- EXISTING STRUCTURE
- EXISTING SOIL BOUNDARY
- ST EXISTING STORMWATER LINE
- OHL EXISTING OVERHEAD LINE
- SAN EXISTING SANITARY LINE
- W EXISTING WATER LINE
- G EXISTING GAS LINE
- SITE BOUNDARY
- TREE LINE
- EXISTING WETLAND
- EXISTING POWER POLE

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DESIGNED BY: RBG
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CHECKED BY: KDK

EXISTING PLAN

EVANS FARM - SECTION 6

ORANGE TOWNSHIP
DELAWARE COUNTY, OHIO

ORIGINAL ISSUE: 8/26/2024

KHA PROJECT NO. 190096007

SHEET NUMBER
4
OF 15

Drawing name: K:\CLB_LDEV\190096001 Evans Farm Phase 4&5 Delaware County OH\2 Design\CAD\PlanSheets\Section 6\Preliminary Engineering\EXISTING PLAN.dwg Layout1 Apr 01, 2025 8:33am by: Gali.Hoeppner
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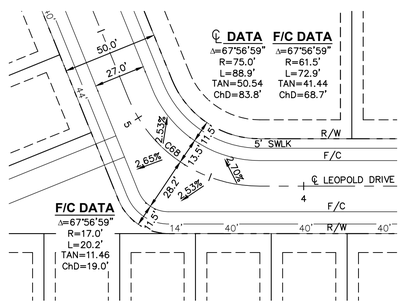
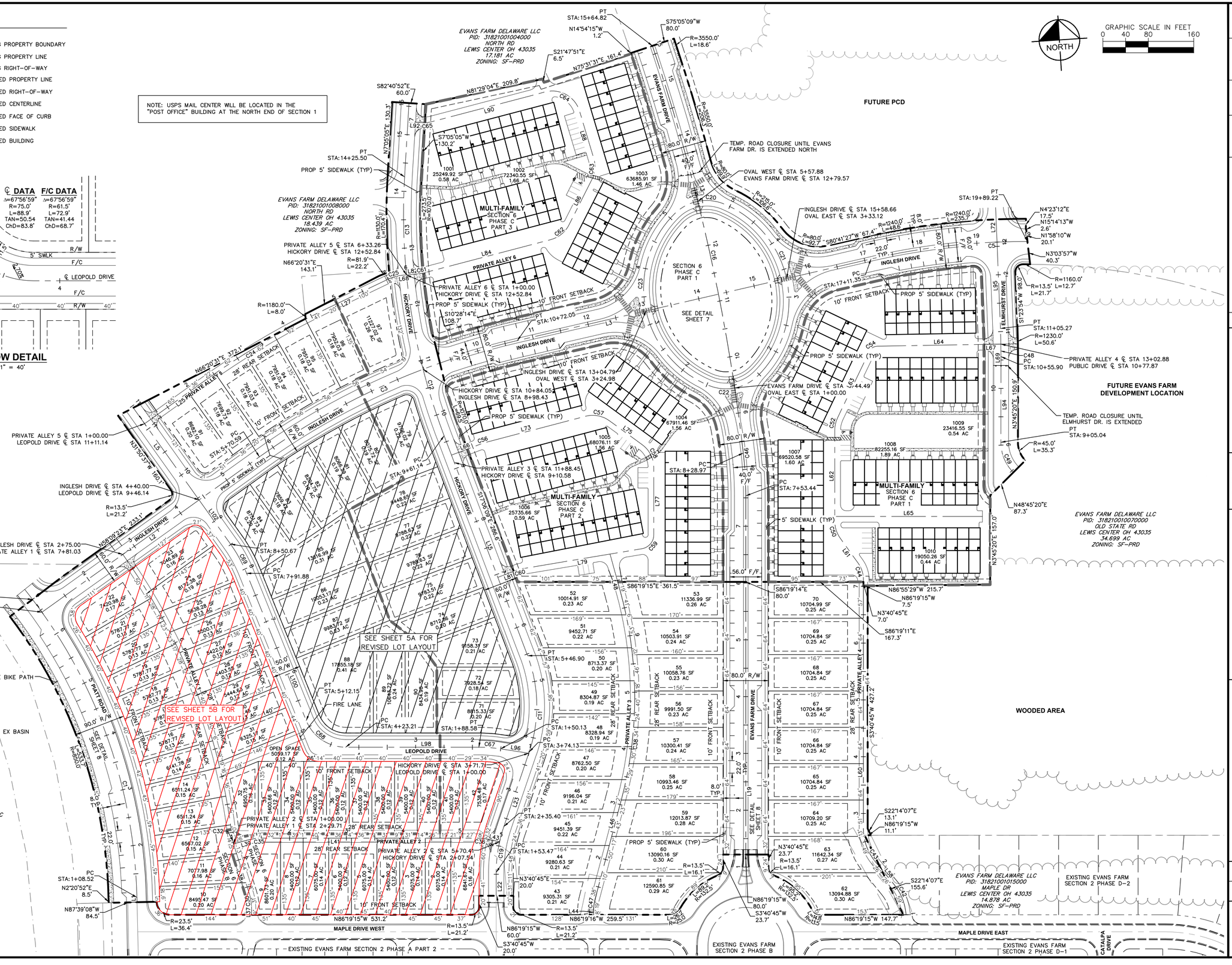
LEGEND

- EXISTING PROPERTY BOUNDARY
- EXISTING PROPERTY LINE
- EXISTING RIGHT-OF-WAY
- PROPOSED PROPERTY LINE
- PROPOSED RIGHT-OF-WAY
- PROPOSED CENTERLINE
- PROPOSED FACE OF CURB
- PROPOSED SIDEWALK
- PROPOSED BUILDING



EYEBROW DETAIL
SCALE: 1" = 40'

NOTE: USPS MAIL CENTER WILL BE LOCATED IN THE "POST OFFICE" BUILDING AT THE NORTH END OF SECTION 1



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DESIGNED BY: RBG
DRAWN BY: ANF
CHECKED BY: KDK

SITE PLAN

EVANS FARM - SECTION 6

ORANGE TOWNSHIP
DELAWARE COUNTY, OHIO

ORIGINAL ISSUE: 8/26/2024
KHA PROJECT NO. 190096007
SHEET NUMBER
5
OF 15

LEGEND

- EXISTING PROPERTY BOUNDARY
- EXISTING PROPERTY LINE
- EXISTING RIGHT-OF-WAY
- PROPOSED PROPERTY LINE
- PROPOSED RIGHT-OF-WAY
- PROPOSED CENTERLINE
- PROPOSED FACE OF CURB
- PROPOSED SIDEWALK
- PROPOSED BUILDING

ALLEY 6

LINE TABLE

LINE	LENGTH	BEARING
L1	91.64	N3°40'45.00"E
L2	340.24	N17°06'08.55"W

CURVE TABLE

CURVE	RADIUS	LENGTH	CHORD BEARING	CHORD	DELTA	TANGENT
C1	85.00'	30.83'	N6°42'42"W	30.66'	20°46'54"	15.59'

ALLEY 7

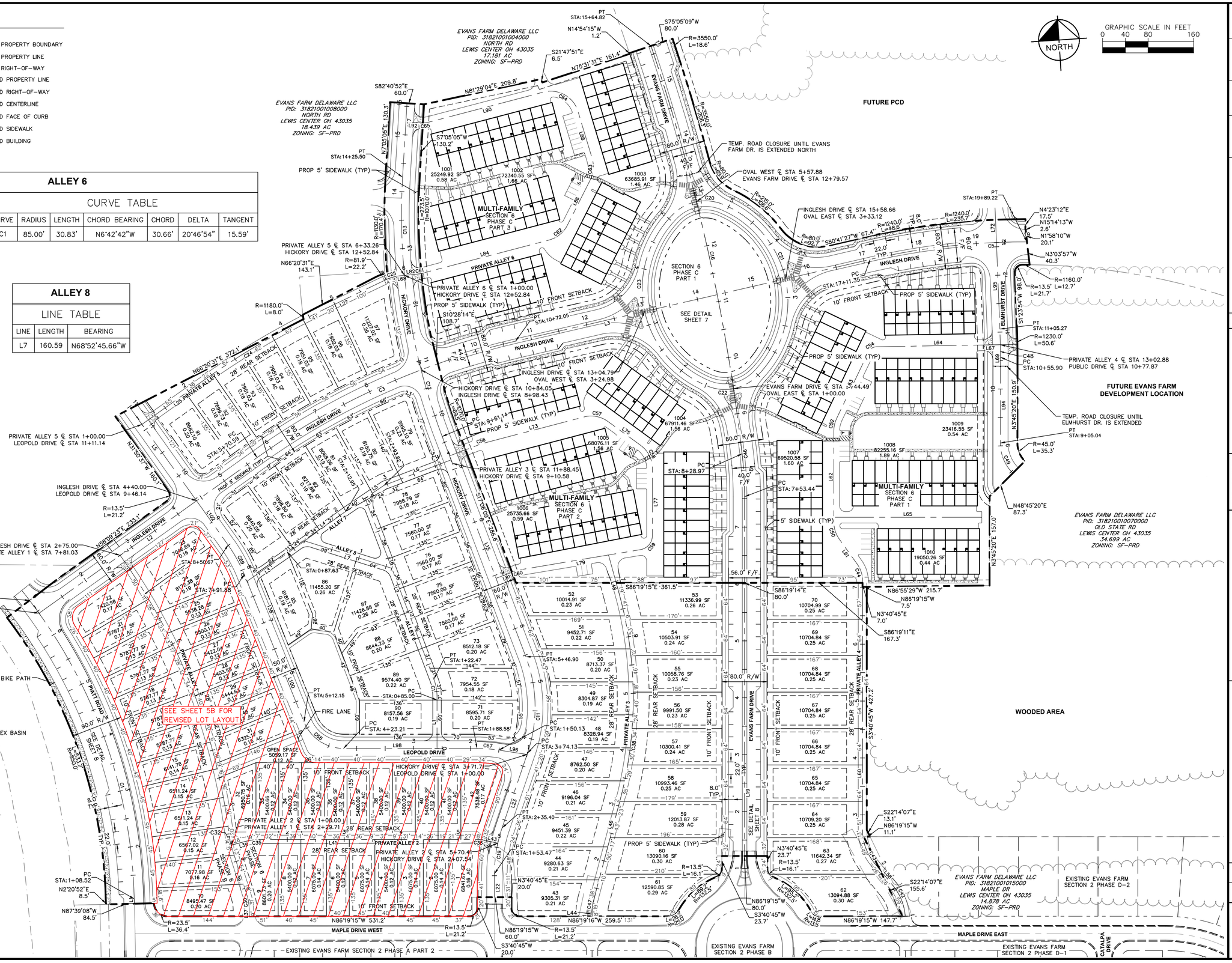
LINE TABLE

LINE	LENGTH	BEARING
L3	87.15	N58°52'50.37"E
L4	125.81	N57°58'11.13"E
L5	80.86	N59°31'12.52"E
L6	126.13	N72°53'51.45"E

ALLEY 8

LINE TABLE

LINE	LENGTH	BEARING
L7	160.59	N68°52'45.66"W



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SITE PLAN

EVANS FARM - SECTION 6

ORANGE TOWNSHIP
DELAWARE COUNTY, OHIO

ORIGINAL ISSUE: 8/26/2024
KHA PROJECT NO. 190096001
SHEET NUMBER
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OF 15

ALLEY 9

LINE TABLE			CURVE TABLE						
LINE	LENGTH	BEARING	CURVE	RADIUS	LENGTH	CHORD BEARING	CHORD	DELTA	TANGENT
L14	84.96	S14°00'44.39"E	C4	1075.00'	537.19'	S17°31'41"E	531.62'	28°37'53"	274.33'
L16	9.15	N3°40'45.00"E	C6	100.00'	18.85'	S8°36'44"E	18.82'	10°48'00"	9.45'
			C8	100.00'	30.88'	S5°10'00"E	30.75'	17°41'29"	15.56'

ALLEY 10

LINE TABLE			CURVE TABLE						
LINE	LENGTH	BEARING	CURVE	RADIUS	LENGTH	CHORD BEARING	CHORD	DELTA	TANGENT
L32	21.89	N73°52'05.17"W	C17	75.00'	16.30'	N80°05'40"W	16.27'	12°27'10"	8.18'
L34	380.04	N86°19'15.00"W	C18	100.00'	26.16'	S86°11'10"W	26.08'	14°59'10"	13.15'
L36	26.01	S78°41'34.74"W							

ALLEY 6

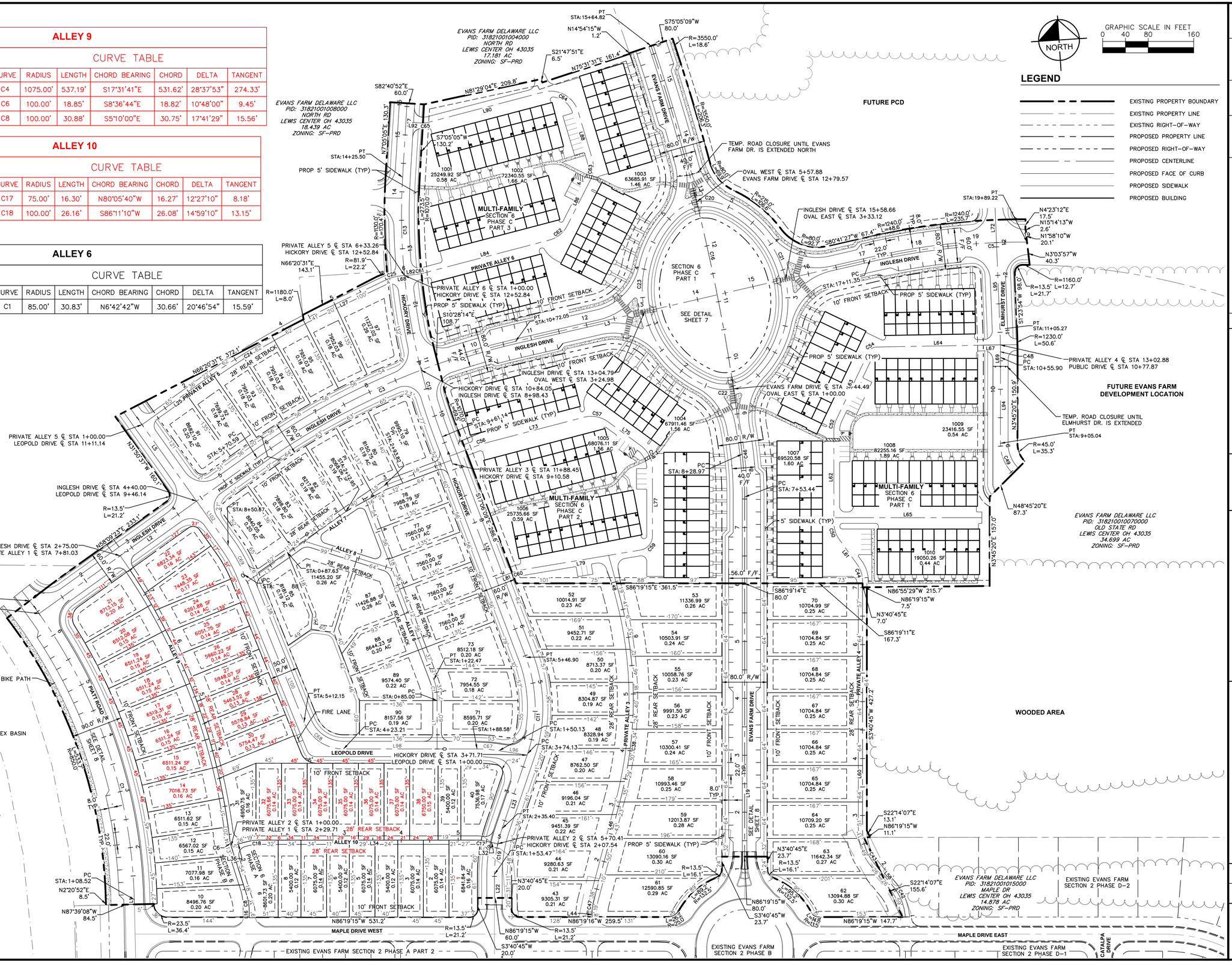
LINE TABLE			CURVE TABLE						
LINE	LENGTH	BEARING	CURVE	RADIUS	LENGTH	CHORD BEARING	CHORD	DELTA	TANGENT
L1	91.64	N3°40'45.00"E	C1	85.00'	30.83'	N6°42'42"W	30.66'	20°46'54"	15.59'
L2	340.24	N17°06'08.55"W							

ALLEY 7

LINE TABLE		
LINE	LENGTH	BEARING
L3	87.15	N58°52'50.37"E
L4	125.81	N57°58'11.13"E
L5	80.86	N59°31'12.52"E
L6	126.13	N72°53'51.45"E

ALLEY 8

LINE TABLE		
LINE	LENGTH	BEARING
L7	160.59	N68°52'45.66"W



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DESIGNED BY: RBG
DRAWN BY: ANF
CHECKED BY: KDK

SITE PLAN

EVANS FARM - SECTION 6

ORANGE TOWNSHIP
DELAWARE COUNTY, OHIO

ORIGINAL ISSUE: 8/26/2024

KHA PROJECT NO. 190096007

SHEET NUMBER

5B

OF 15

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INGLESH DRIVE

LINE TABLE

LINE	LENGTH	BEARING
L2	470.59	S58°09'23.10"W
L3	639.30	S80°41'26.54"W

CURVE TABLE

CURVE	RADIUS	LENGTH	CHORD BEARING	CHORD	DELTA	TANGENT
C3	1275.00'	501.45'	S69°25'25"W	498.23'	22°32'03"	254.01'
C5	1200.00'	277.87'	S87°19'28"W	277.25'	13°16'03"	139.56'

EVANS FARM DRIVE

LINE TABLE

LINE	LENGTH	BEARING
L19	653.44	S3°40'45.00"W

CURVE TABLE

CURVE	RADIUS	LENGTH	CHORD BEARING	CHORD	DELTA	TANGENT
C16	3510.00'	735.85'	S8°54'30"E	734.50'	12°00'42"	369.28'
C46	657.50'	75.53'	S0°23'18"W	75.49'	6°34'55"	37.81'

LEOPOLD DRIVE

LINE TABLE

LINE	LENGTH	BEARING
L5	199.32	N31°50'36.90"W
L96	50.17	S77°30'28.45"E
L98	234.62	S86°19'15.00"E
L100	279.73	S18°22'16.11"E
L102	95.47	S31°50'36.90"E

CURVE TABLE

CURVE	RADIUS	LENGTH	CHORD BEARING	CHORD	DELTA	TANGENT
C67	250.00'	38.45'	S81°54'52"E	38.42'	8°48'47"	19.26'
C68	75.00'	88.95'	S52°20'46"E	83.82'	67°56'59"	50.54'
C69	250.00'	58.78'	S25°06'27"E	58.65'	13°28'21"	29.53'

HICKORY DRIVE

LINE TABLE

LINE	LENGTH	BEARING
L15	414.24	S17°06'08.55"E
L17	130.19	S7°05'05.07"W
L22	41.12	S3°40'45.00"W
L23	138.84	S22°29'31.55"W

CURVE TABLE

CURVE	RADIUS	LENGTH	CHORD BEARING	CHORD	DELTA	TANGENT
C11	250.00'	172.76'	S2°41'41"W	169.35'	39°35'40"	89.99'
C12	1100.00'	464.36'	S5°00'32"E	460.92'	24°11'14"	235.69'
C13	1100.00'	464.36'	S5°00'32"E	460.92'	24°11'14"	235.69'
C19	250.00'	82.09'	S13°05'08"W	81.72'	18°48'47"	41.42'

PIATT ROAD

LINE TABLE

LINE	LENGTH	BEARING
L1	8.57	N2°20'52.00"E

CURVE TABLE

CURVE	RADIUS	LENGTH	CHORD BEARING	CHORD	DELTA	TANGENT
C1	900.00'	565.09'	S15°38'23"E	555.86'	35°58'30"	292.21'

OVAL EAST & WEST

CURVE TABLE

CURVE	RADIUS	LENGTH	CHORD BEARING	CHORD	DELTA	TANGENT
C20	80.00'	93.78'	S82°28'37"W	88.51'	67°10'07"	53.12'
C21	185.00'	364.32'	N7°31'23"W	308.24'	112°49'53"	278.61'
C22	80.00'	93.78'	N82°28'37"E	88.51'	67°10'07"	53.12'
C23	185.00'	364.32'	S7°31'23"E	308.24'	112°49'53"	278.61'

PRIVATE ALLEY 1

LINE TABLE

LINE	LENGTH	BEARING
L37	9.15	S3°40'45.00"W
L38	84.96	S14°00'44.39"E

CURVE TABLE

CURVE	RADIUS	LENGTH	CHORD BEARING	CHORD	DELTA	TANGENT
C30	100.00'	30.88'	S5°10'00"E	30.75'	17°41'29"	15.56'
C32	100.00'	18.85'	S8°36'44"E	18.82'	10°48'00"	9.45'
C33	1075.00'	537.19'	S17°31'41"E	531.62'	28°37'53"	274.33'

PRIVATE ALLEY 2

LINE TABLE

LINE	LENGTH	BEARING
L39	26.01	S78°41'34.74"W
L41	380.04	N86°19'15.00"W
L43	21.89	N73°52'05.17"W

CURVE TABLE

CURVE	RADIUS	LENGTH	CHORD BEARING	CHORD	DELTA	TANGENT
C35	100.00'	26.16'	S86°11'10"W	26.08'	14°59'10"	13.15'
C36	75.00'	16.30'	N80°05'40"W	16.27'	12°27'10"	8.18'

PRIVATE ALLEY 3

LINE TABLE

LINE	LENGTH	BEARING
L44	8.13	S3°40'45.00"W
L46	182.24	S18°29'55.40"W
L48	18.86	S11°40'10.20"E

CURVE TABLE

CURVE	RADIUS	LENGTH	CHORD BEARING	CHORD	DELTA	TANGENT
C38	700.00'	368.57'	S3°24'53"W	364.33'	30°10'06"	188.67'
C47	75.00'	19.40'	S11°05'20"W	19.34'	14°49'10"	9.75'

ELMHURST DRIVE

LINE TABLE

LINE	LENGTH	BEARING
L69	2.50	S3°45'20.25"W
L72	60.87	N1°23'54.28"E
L94	148.35	S3°45'20.25"W
L95	152.35	S1°23'54.28"W

CURVE TABLE

CURVE	RADIUS	LENGTH	CHORD BEARING	CHORD	DELTA	TANGENT
C48	1200.00'	49.37'	S2°34'37"W	49.37'	2°21'26"	24.69'
C49	75.00'	58.90'	S18°44'40"E	57.40'	45°00'00"	31.07'

PRIVATE ALLEY 4

LINE TABLE

LINE	LENGTH	BEARING
L58	52.38	S35°42'36.52"E
L60	434.71	S3°40'45.00"W

CURVE TABLE

CURVE	RADIUS	LENGTH	CHORD BEARING	CHORD	DELTA	TANGENT
C42	95.00'	58.72'	S18°00'15"E	57.79'	35°24'44"	30.33'
C43	90.00'	61.87'	S16°00'56"E	60.66'	39°23'22"	32.22'

PRIVATE ALLEY 5

LINE TABLE

LINE	LENGTH	BEARING
L25	130.59	S58°09'23.10"W
L27	120.02	S68°03'18.83"W
L68	7.64	S88°05'28.42"W

CURVE TABLE

CURVE	RADIUS	LENGTH	CHORD BEARING	CHORD	DELTA	TANGENT
C24	1440.00'	248.78'	S63°06'21"W	248.48'	9°53'56"	124.70'
C25	75.00'	26.23'	S78°04'24"W	26.09'	20°02'10"	13.25'

PRIVATE ALLEY 6

LINE TABLE

LINE	LENGTH	BEARING
L30	61.94	N88°05'28.42"E

CURVE TABLE

CURVE	RADIUS	LENGTH	CHORD BEARING	CHORD	DELTA	TANGENT

MULTI FAMILY PHASE A

LINE TABLE

LINE	LENGTH	BEARING
L61	54.30	N31°59'39.15"W
L62	162.11	N3°40'45.00"E
L63	130.21	N29°17'16.87"E
L64	218.11	S87°17'35.85"E
L65	260.00	S86°19'15.00"E

CURVE TABLE

CURVE	RADIUS	LENGTH	CHORD BEARING	CHORD	DELTA	TANGENT
C44	50.00'	31.13'	N14°09'27"W	30.63'	35°40'24"	16.09'
C50	50.14'	30.04'	N14°48'11"W	29.60'	34°19'59"	15.49'
C52	50.00'	22.35'	N16°29'01"E	22.16'	25°36'32"	11.36'
C54	15.00'	16.60'	N60°59'51"E	15.77'	63°25'07"	9.27'

MULTI FAMILY PHASE B

LINE TABLE

LINE	LENGTH	BEARING
L66	55.34	N72°53'51.45"E
L73	180.11	N79°01'11.07"E
L75	71.22	S50°12'48.54"E
L77	118.22	S3°40'45.00"W
L79	214.55	S84°11'42.79"W
L81	35.00	S72°53'51.45"W

CURVE TABLE

CURVE	RADIUS	LENGTH	CHORD BEARING	CHORD	DELTA	TANGENT
C56	100.00'	10.69'	N75°57'31"E	10.68'	6°07'20"	5.35'
C57	50.00'	44.30'	S75°35'49"E	42.87'	50°46'00"	23.72'
C58	50.00'	47.03'	S23°16'02"E	45.32'	53°53'34"	25.42'
C59	25.00'	35.13'	S43°56'14"W	32.31'	80°30'58"	21.17'
C60	50.00'	9.86'	S78°32'47"W	9.84'	11°17'51"	4.95'

MULTI FAMILY PHASE C

LINE TABLE

LINE	LENGTH	BEARING
L82	23.40	N88°05'28.42"E
L84	230.67	N78°59'36.04"E
L86	89.64	N30°31'11.78"E
L88	86.85	N12°59'47.59"W
L90	207.28	S78°59'36.04"W
L92	25.83	N82°54'54.93"W

CURVE TABLE

CURVE	RADIUS	LENGTH	CHORD BEARING	CHORD	DELTA	TANGENT
C61	50.00'	7.94'	N83°32'32"E	7.93'	9°05'52"	3.98'
C62	50.00'	42.30'	N54°45'24"E	41.05'	48°28'24"	22.51'
C63	50.00'	37.98'	N8°45'42"E	37.07'	43°30'59"	19.96'
C64	50.00'	76.80'	N57°00'06"W	69.47'	88°00'36"	48.29'
C65	50.00'	15.79'	S88°02'21"W	15.72'	18°05'29"	7.96'

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SITE PLAN DETAILS

EVANS FARM - SECTION 6

ORANGE TOWNSHIP
DELAWARE COUNTY, OHIO

ORIGINAL ISSUE: 8/26/2024
KHA PROJECT NO. 190096007

SHEET NUMBER
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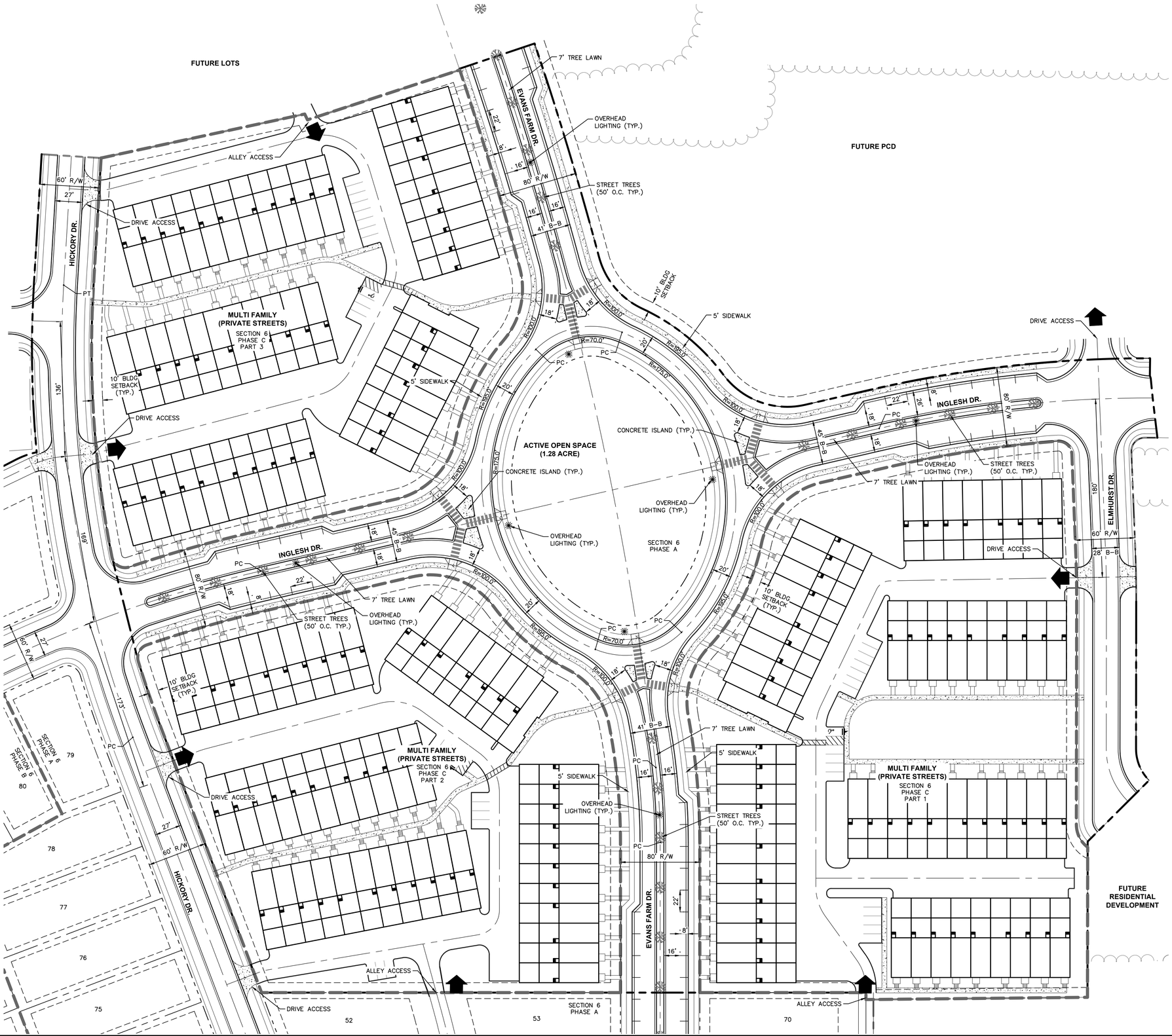

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OVAL DETAIL

EVANS FARM - SECTION 6

ORANGE TOWNSHIP
DELAWARE COUNTY, OHIO

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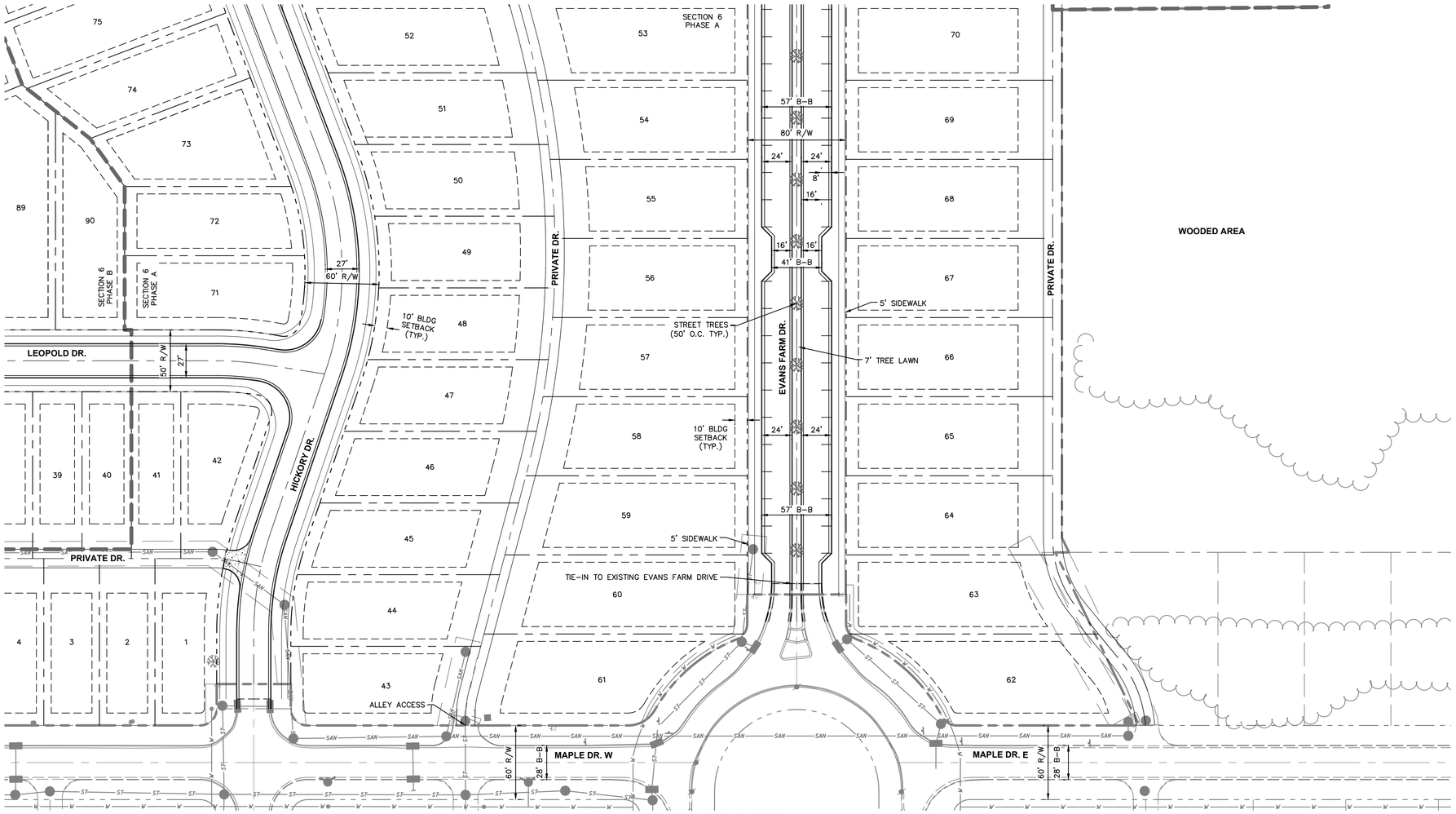
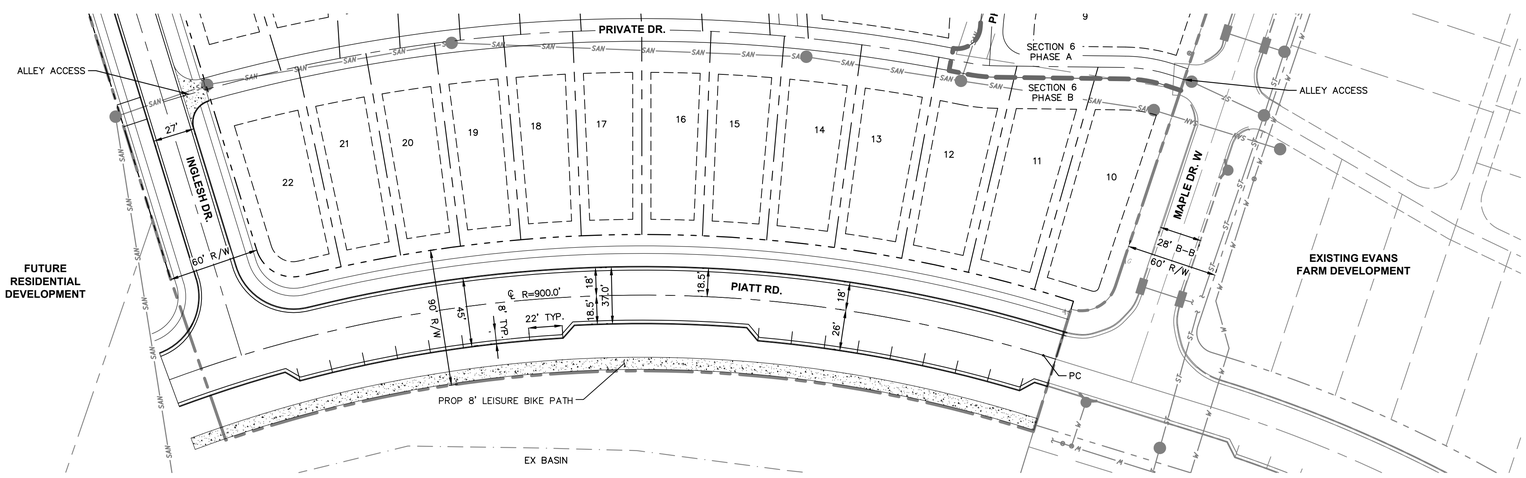


EVANS FARM DRIVE DETAIL



PIATT ROAD DETAIL

NORTH

GRAPHIC SCALE IN FEET
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EVANS FARM DRIVE & PIATT ROAD DETAILS

EVANS FARM - SECTION 6

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EXISTING PAVEMENT	PROPOSED CENTERLINE
EXISTING CENTERLINE	PROPOSED PAVEMENT
EXISTING EASEMENT	PROPOSED FACE OF CURB
EXISTING WATERMAIN	PROPOSED GRADING LIMITS
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	PROPOSED WATERMAIN
	PROPOSED HYDRANT
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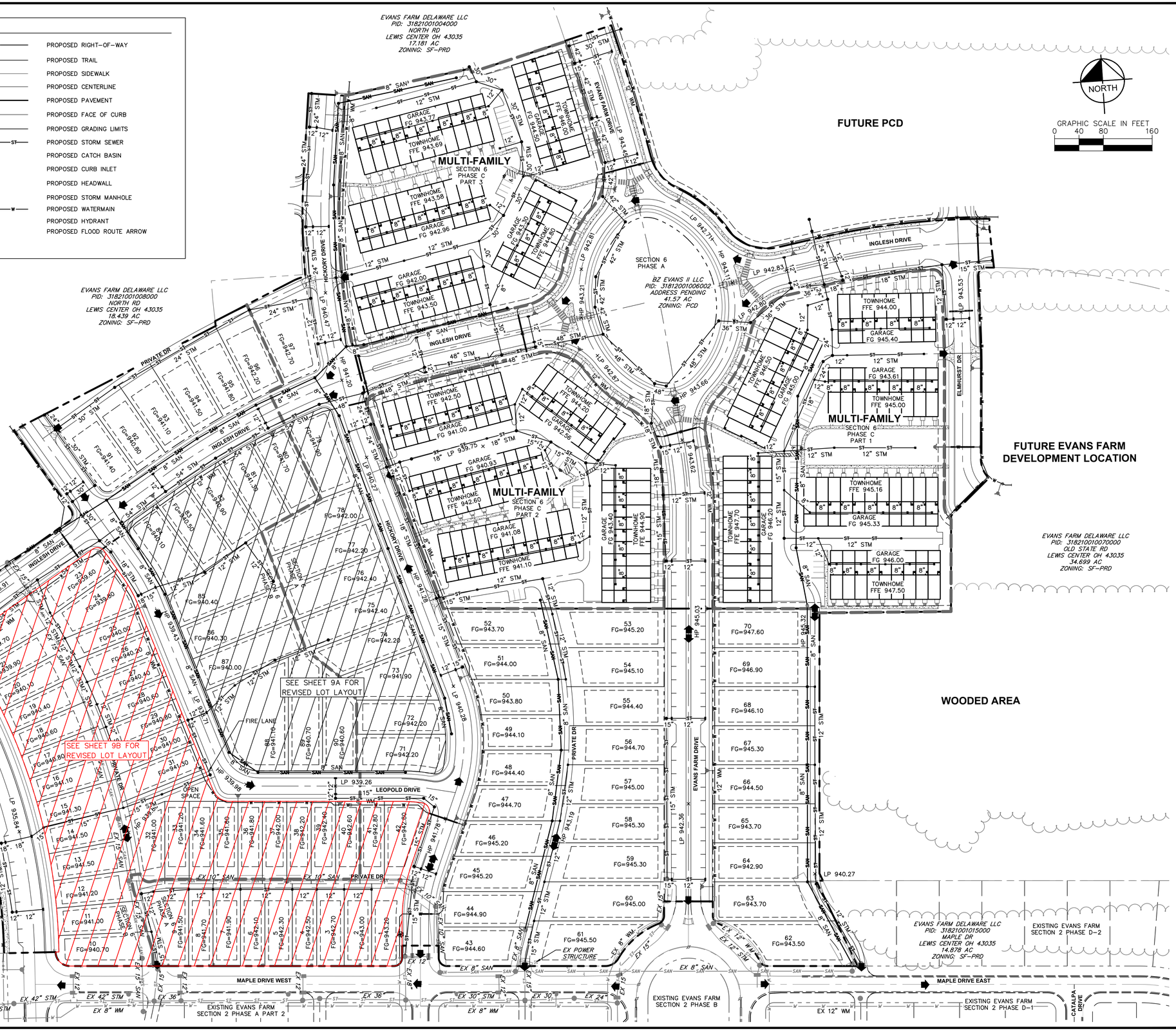

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UTILITY & GRADING PLAN

EVANS FARM - SECTION 6

ORANGE TOWNSHIP
DELAWARE COUNTY, OHIO

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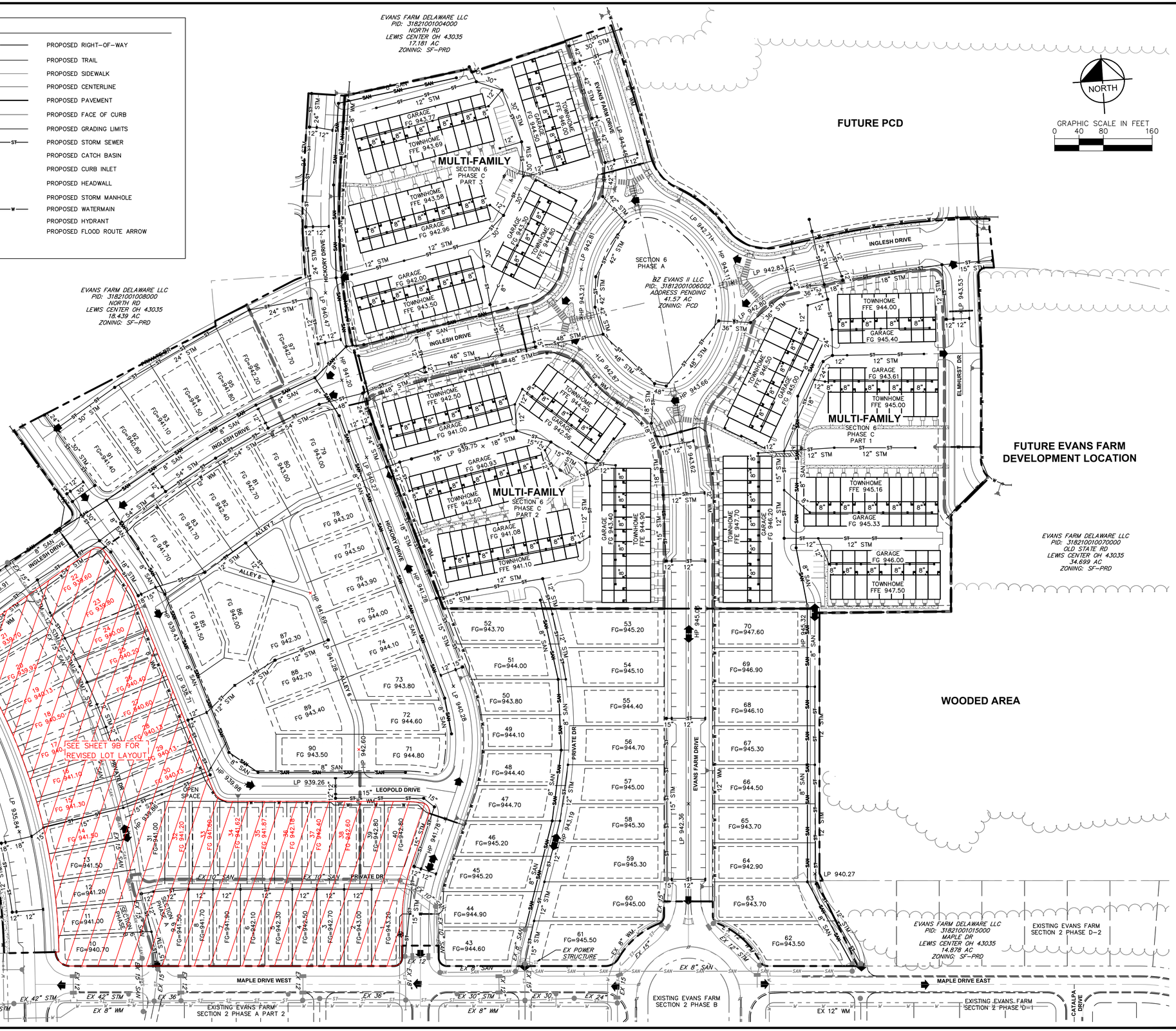

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EVANS FARM - SECTION 6

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DELAWARE COUNTY, OHIO

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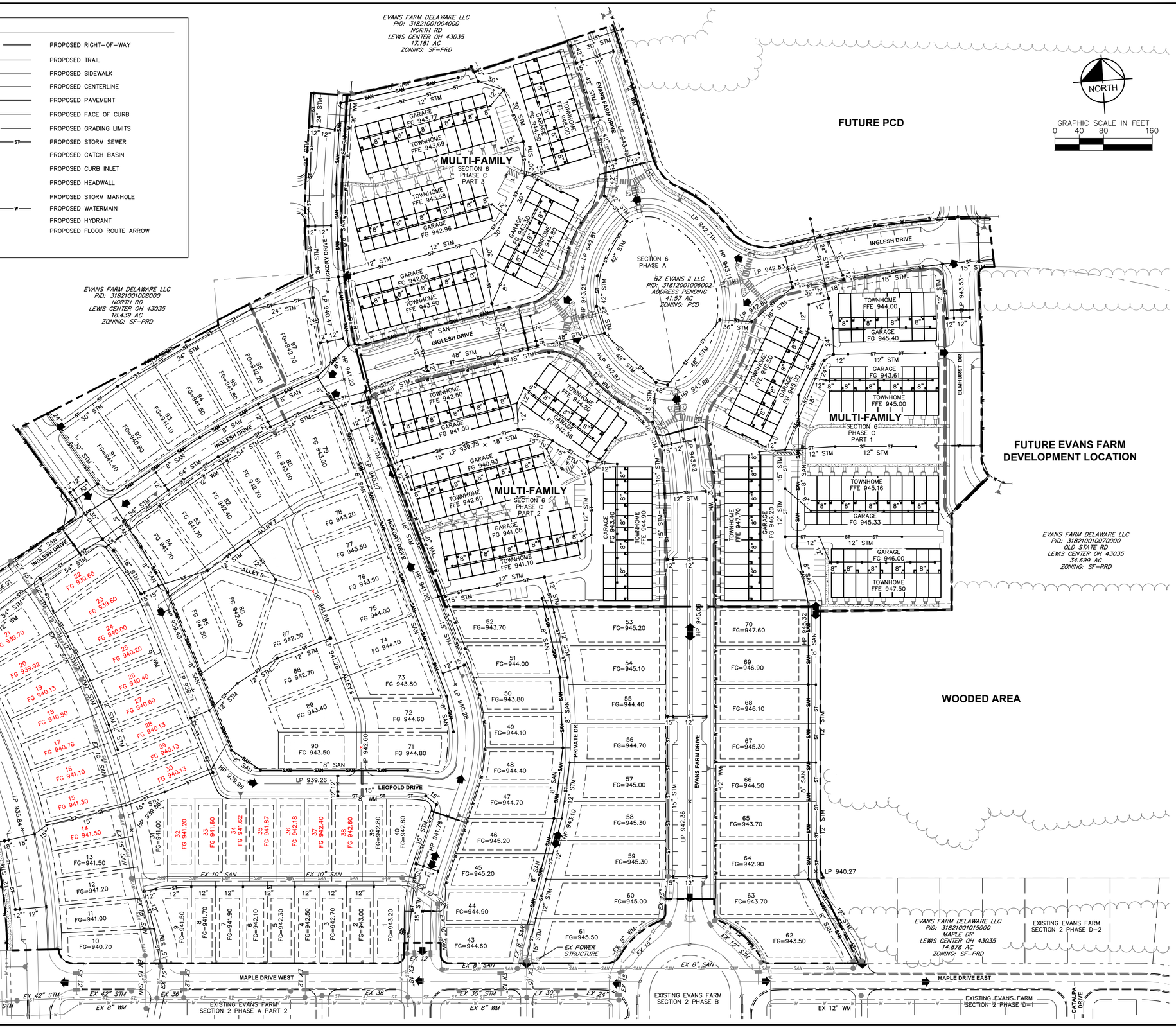

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EVANS FARM - SECTION 6

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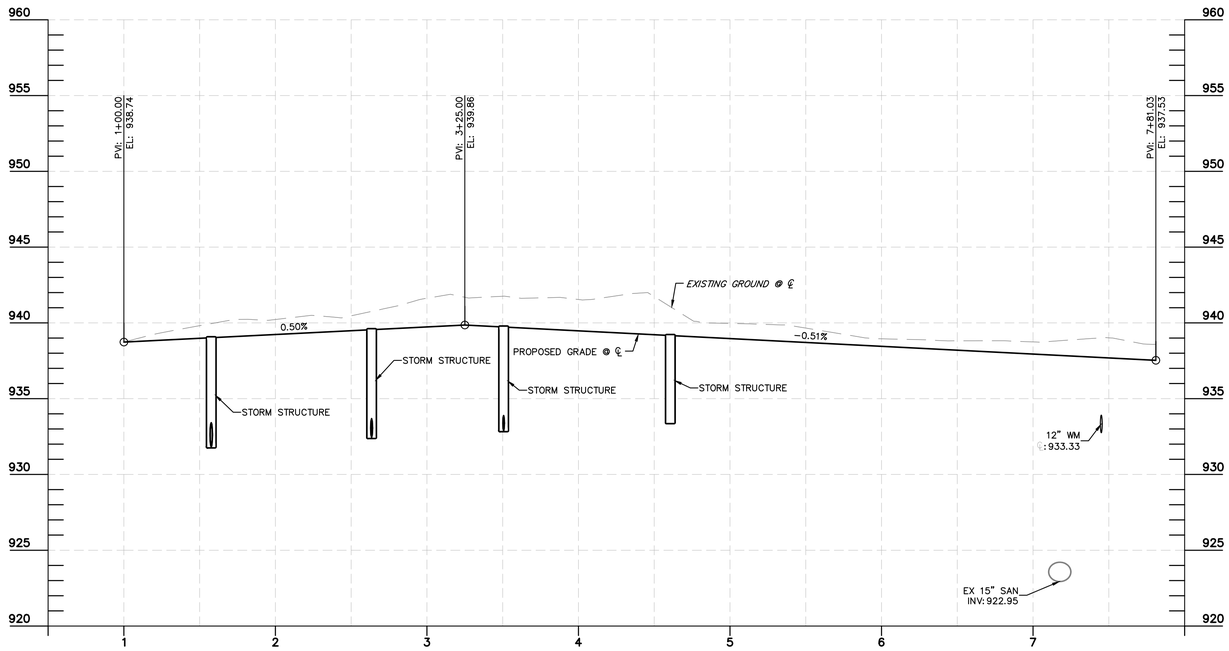

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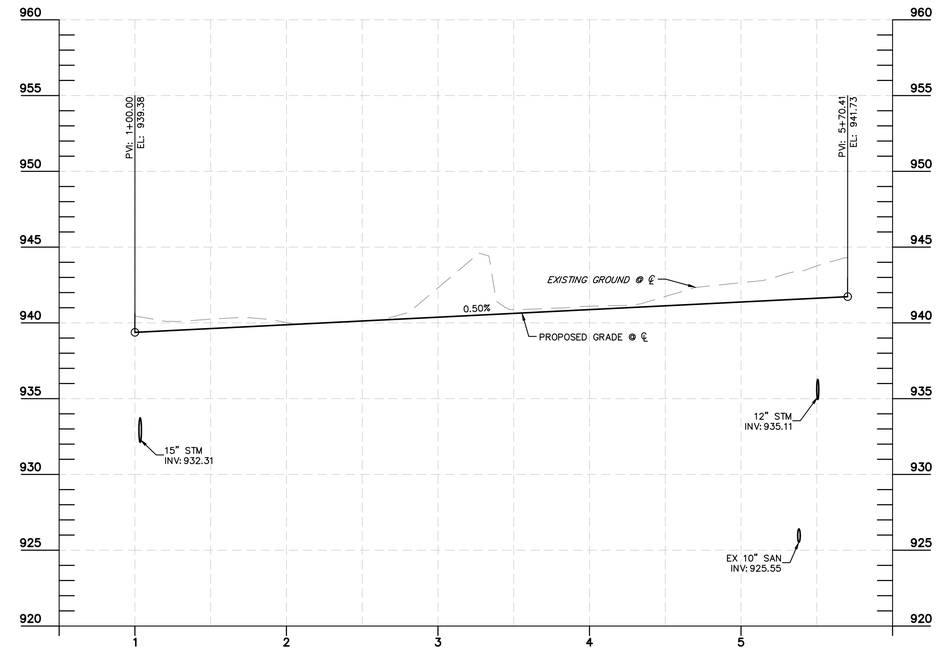

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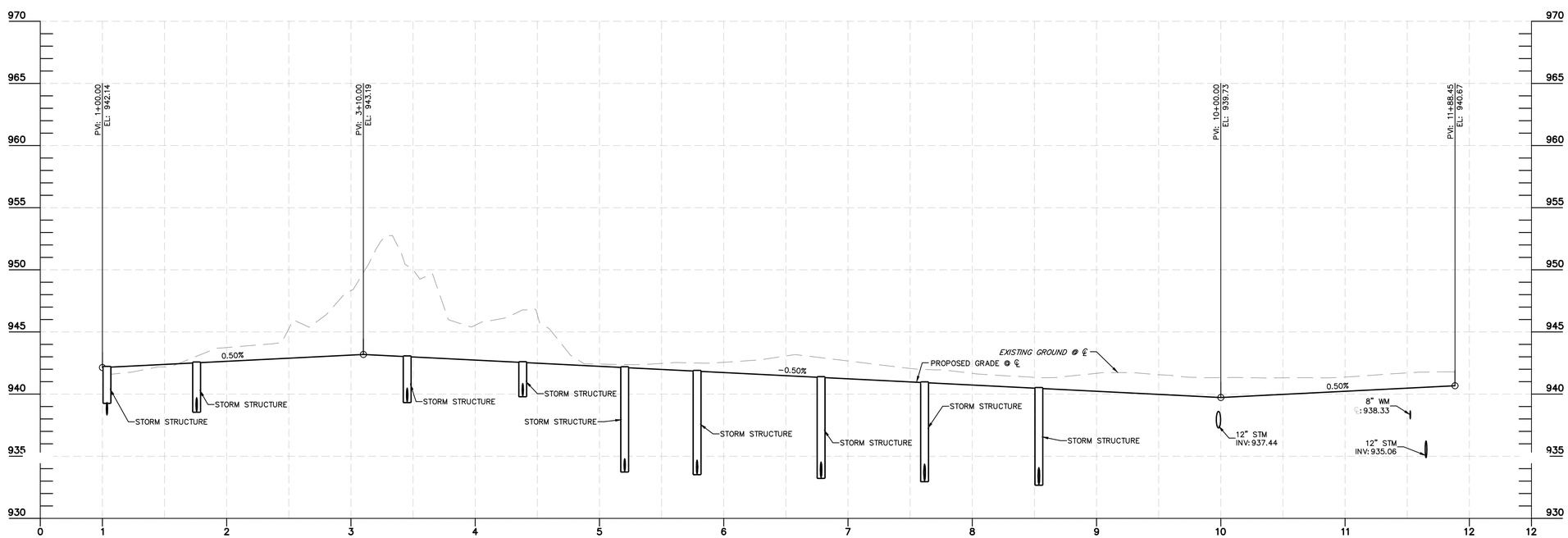

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ROADWAY PROFILES

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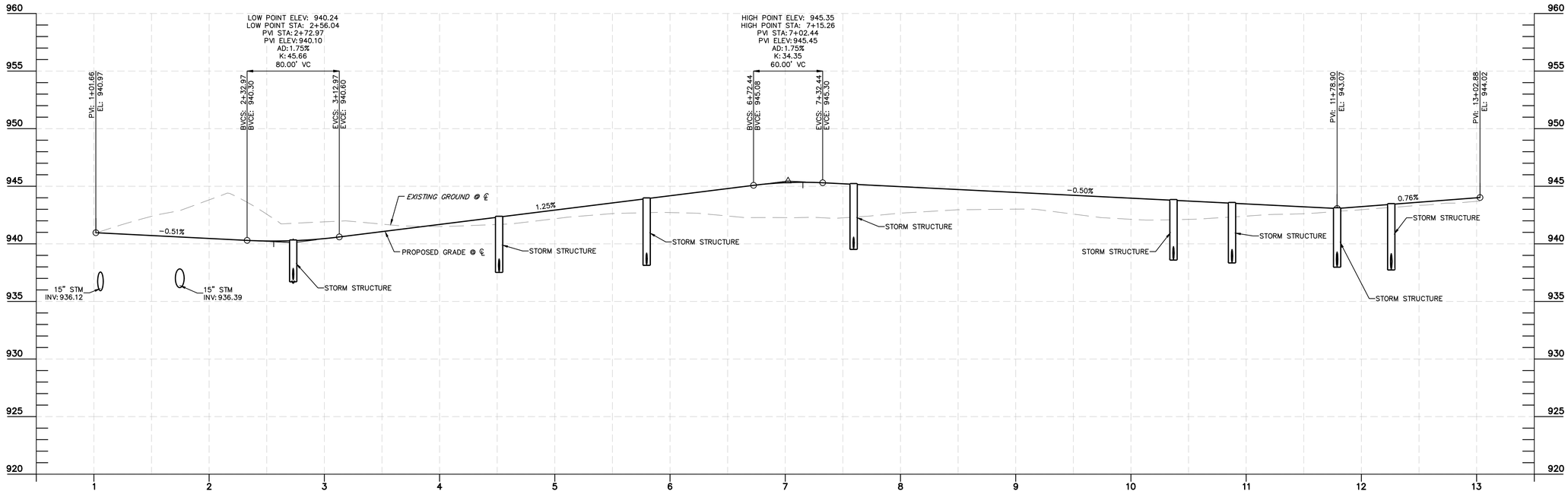

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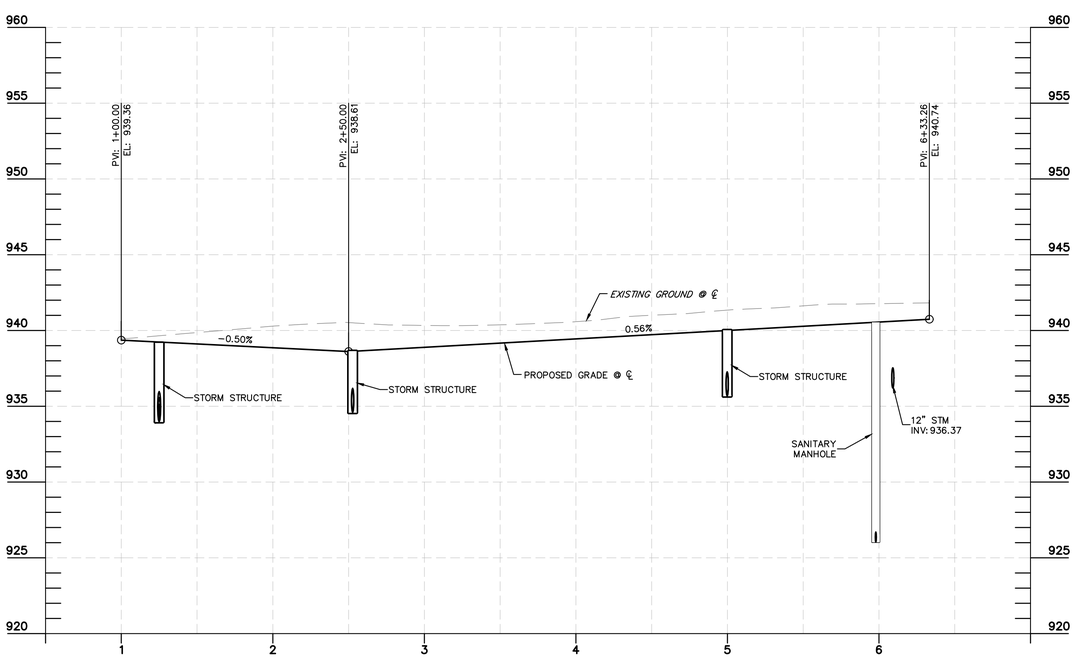

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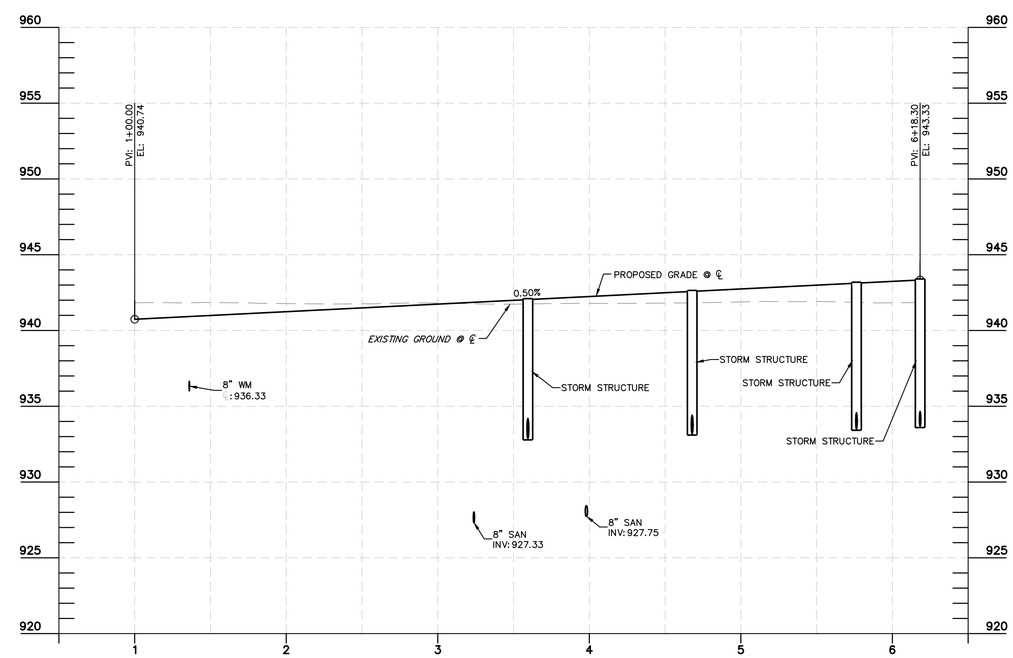

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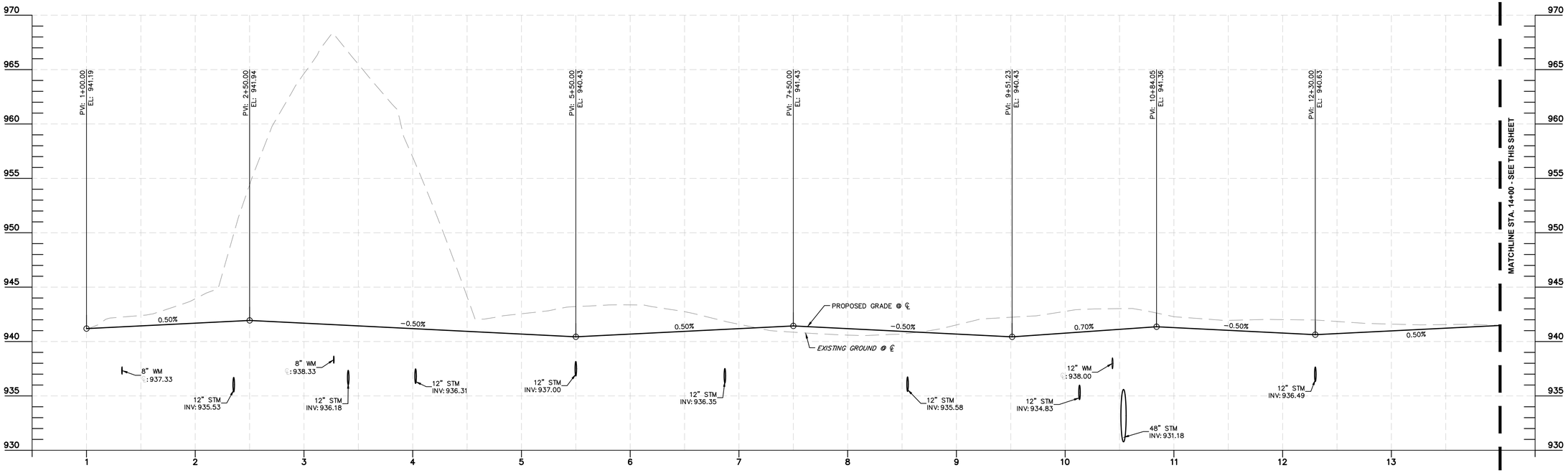

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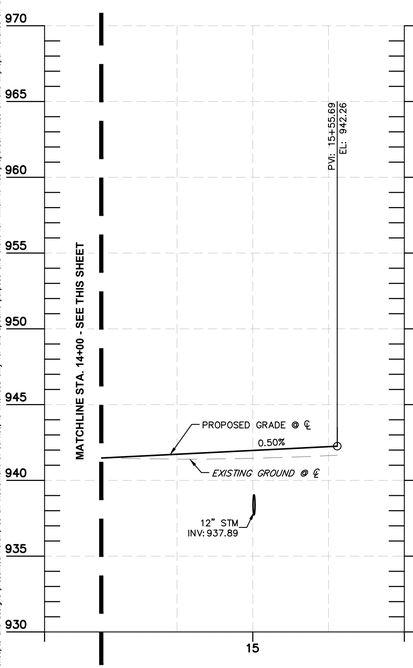

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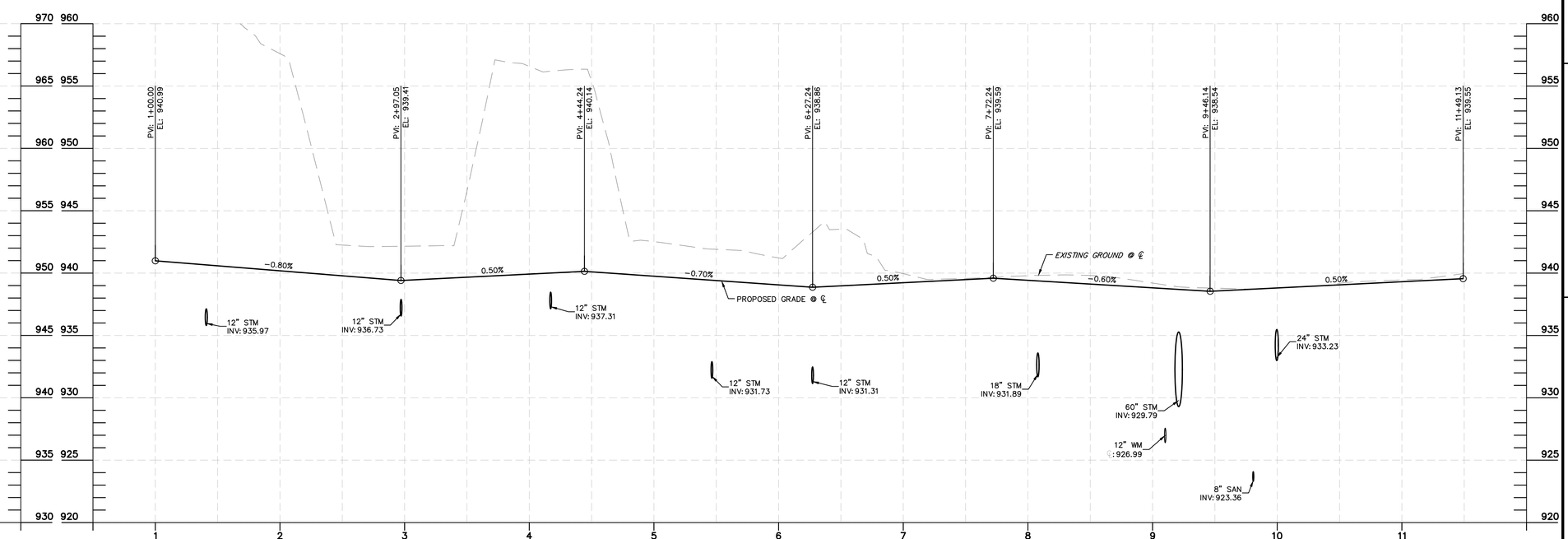

LEOPOLD DRIVE PROFILE STA 1+00.00 TO 11+49.13

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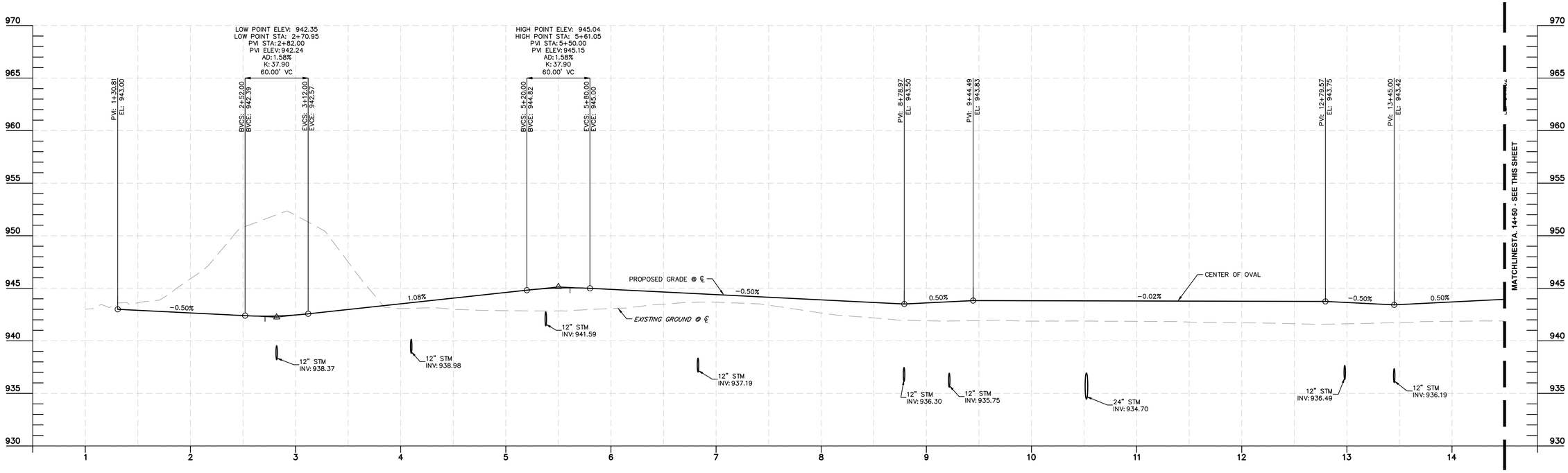

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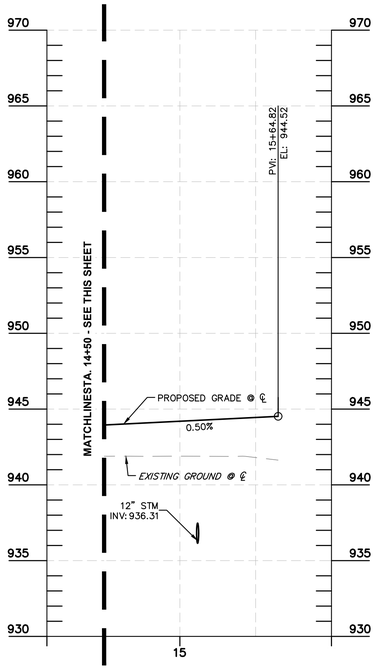

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ROADWAY PROFILES

EVANS FARM - SECTION 6

ORANGE TOWNSHIP
DELAWARE COUNTY, OHIO

ORIGINAL ISSUE: 8/26/2024

KHA PROJECT NO. 190096007

SHEET NUMBER

13

OF 15

Drawing name: K:\CLB_LDEV\190096001 Evans Farm Phase 4&5 Delaware County OH\2 Design\CAD\PlanSheets\Section 6\Preliminary Engineering\HORIZONTAL & VERTICAL ALIGNMENT.dwg Layout2 (3) Apr 01, 2025 8:33am by: Gali.Hoeppner
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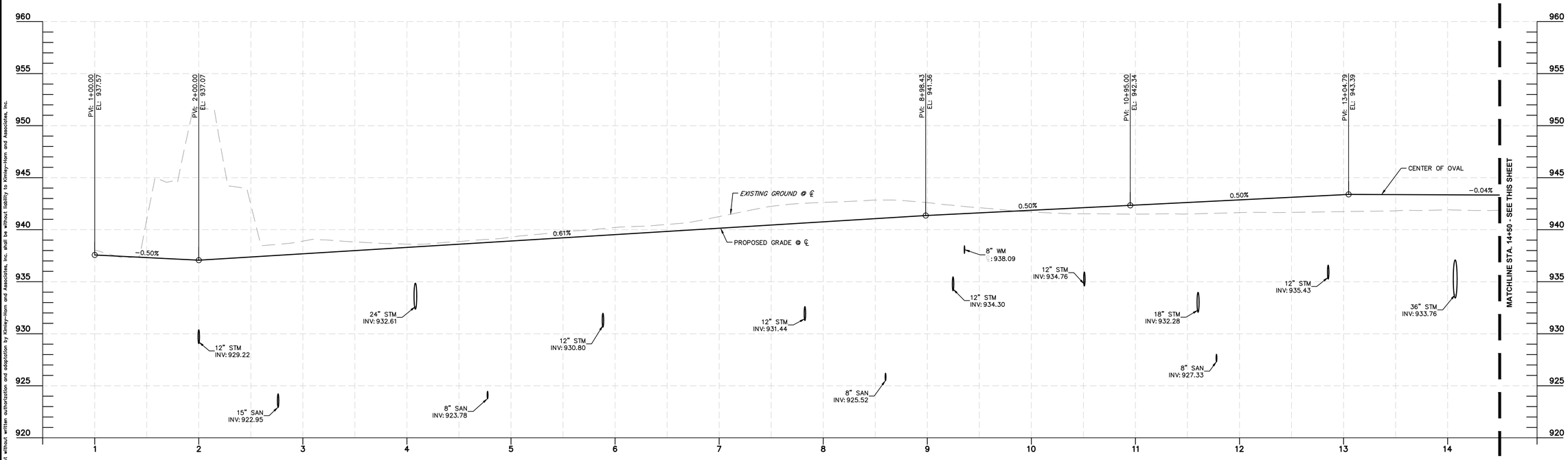
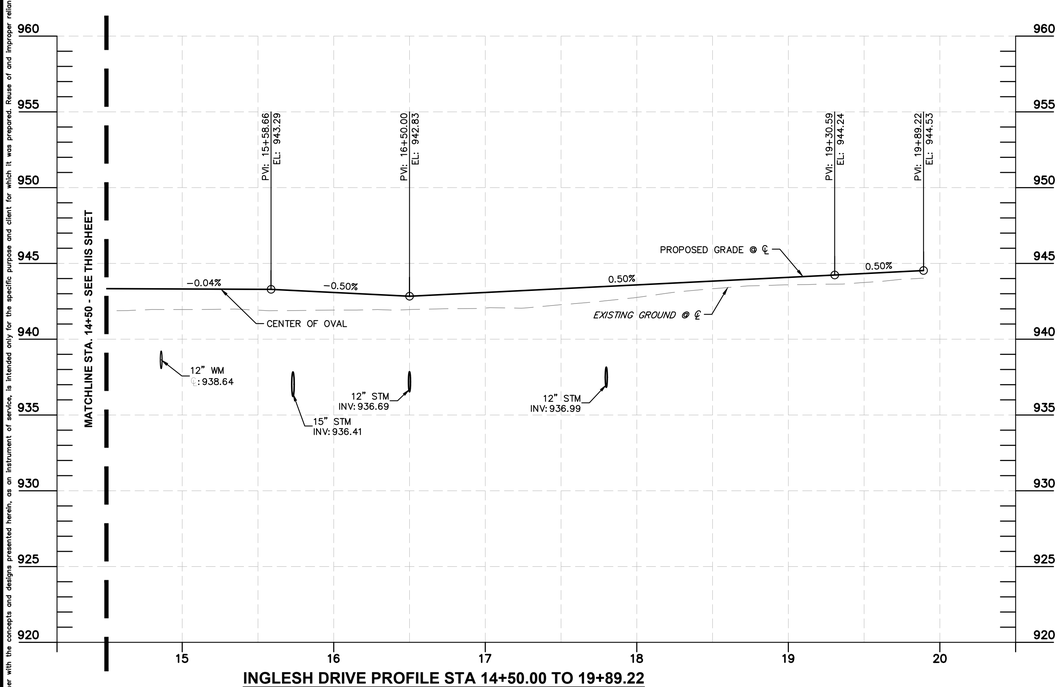


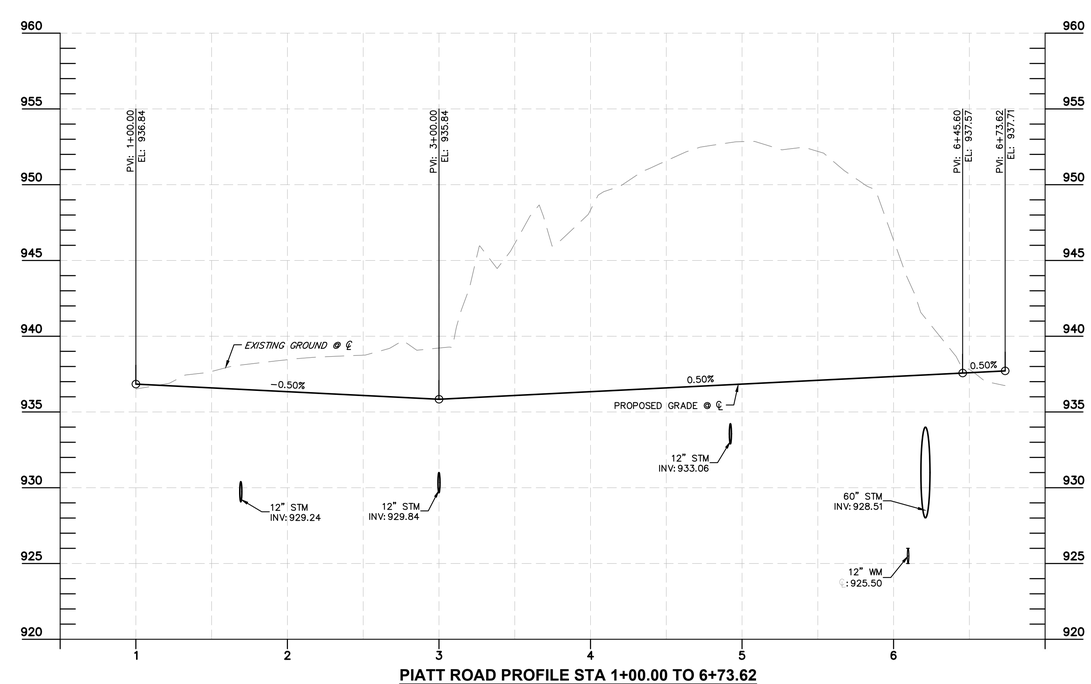
INGLESH DRIVE PROFILE STA 1+00.00 TO 14+50.00

SCALE: H:1"=50' V:1"=5'



INGLESH DRIVE PROFILE STA 14+50.00 TO 19+89.22

SCALE: H:1"=50' V:1"=5'



PIATT ROAD PROFILE STA 1+00.00 TO 6+73.62

SCALE: H:1"=50' V:1"=5'

No.	REVISIONS	DATE	BY	APR DATE	APR BY

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SCALE: AS NOTED
DESIGNED BY: RBG
DRAWN BY: ANF
CHECKED BY: KDK

ROADWAY PROFILES

EVANS FARM - SECTION 6

ORANGE TOWNSHIP
DELAWARE COUNTY, OHIO

ORIGINAL ISSUE: 8/26/2024

KHA PROJECT NO. 190096007

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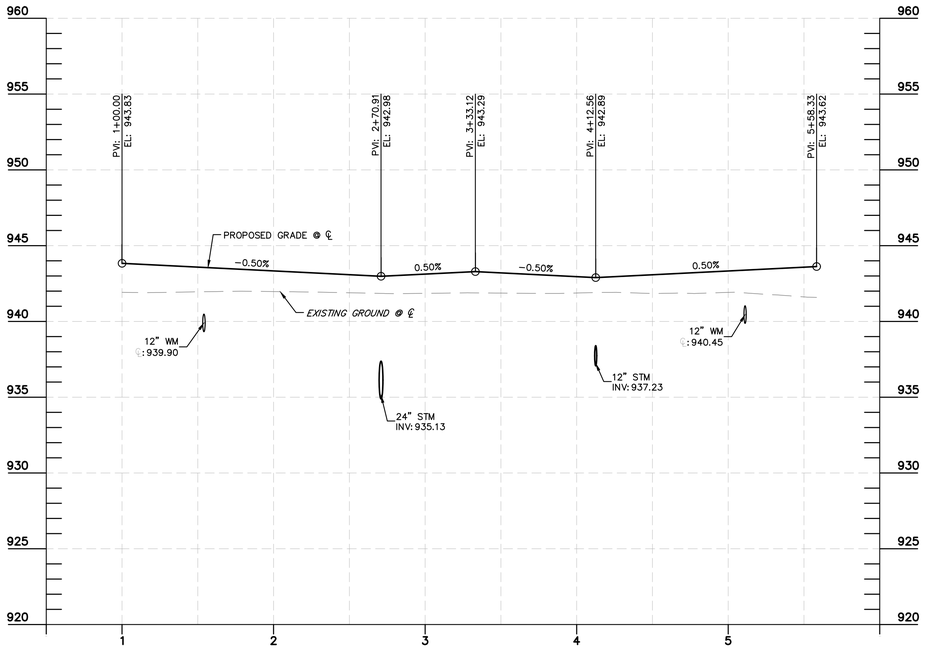
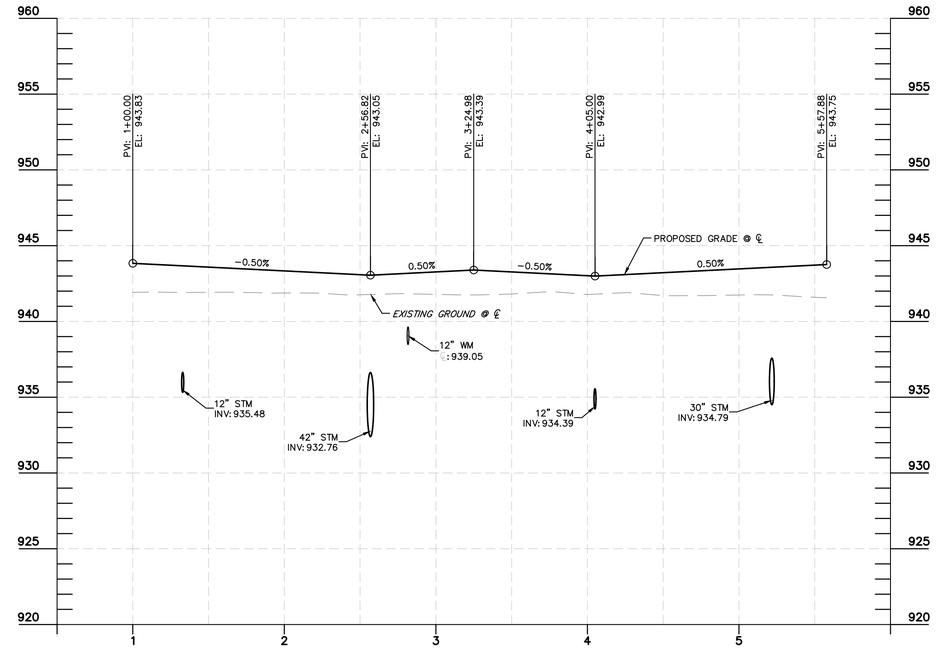


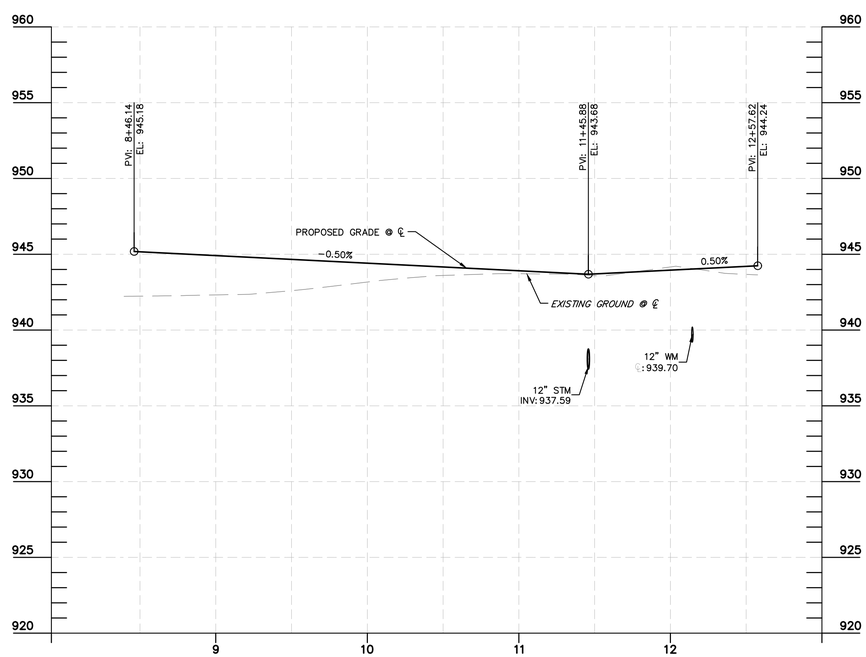
OVAL EAST PROFILE STA 1+00.00 TO 5+58.33

SCALE: H:1"=50' V:1"=5'



OVAL WEST PROFILE STA 1+00.00 TO 5+57.88

SCALE: H:1"=50' V:1"=5'



ELMHURST DRIVE PROFILE STA 8+46.14 TO 12+57.62

SCALE: H:1"=50' V:1"=5'

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SCALE: AS NOTED

DESIGNED BY: RBG

DRAWN BY: ANF

CHECKED BY: KDK

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