



Preliminary Subdivision Application
Delaware County, Ohio
 (for unincorporated areas only)

RPC Sketch Plan Number 24-17-S
 RPC Number 05-25
(RPC Staff will assign)

PROJECT	ASMRE HOLDINGS OLD 3C HWY CAD	(circle one) <u>Residential</u> Commercial
TOWNSHIP	GENOA	
APPLICANT/ CONTACT	Name NATHAN HARRINGTON	Phone 614-506-3662
	Address 5659 GREYSTONE LN	E-mail nharrington@brackeng.com
	City, State, Zip HILLIARD, OH 43026	

PROPERTY OWNER	Name ASMRE HOLDINGS LLC	Phone 614-402-5664
	Address 4461 S. OLD 3C HWY	E-mail patshivleysr@gmail.com
	City, State, Zip WESTERVILLE, OH 43082	

SURVEYOR/ ENGINEER	Name NATHAN HARRINGTON	Phone 614-506-3662
	Address 5659 GREYSTONE LN	E-mail nharrington@brackeng.com
	City, State, Zip HILLIARD, OH 43026	

LOCATION	(circle one) N <u>S</u> <u>E</u> W side of OLD 3C HWY	Road/Street
	approx. 58' feet N <u>S</u> <u>E</u> W of OLIVERO DR	Road/Street

DETAILS	Is a CAD involved? <u>yes</u> no	
	Current Land Use RESIDENTIAL	Del-Co Water <u>yes</u> no
	Current Zoning District PRD	Private wells yes <u>no</u>
	Buildable lots 4	Sanitary Sewer <u>yes</u> no
	Non-buildable N/A	Electric Provider TBD
	Total Acreage 22.02 AC.	Gas Provider TBD
	Open Space Acreage +/- 20 AC.	School District BIG WALNUT

SUBMISSION REQUIREMENTS (Sub. Regs. Section 204.02)	4 Folded full-size copies of the Preliminary Plan, indicating Utility and Grading , and one 11" x 17" copy;
	Other Preliminary Engineering components shall be provided electronically to DCEO. PLEASE NOTE: DCEO does not require a separate Preliminary Engineering submission for Common Access Driveways, unless part of a larger subdivision.
	Preliminary Plan in digital format (GIS preferred), Preliminary Waters of the US Report Summary in digital format (pdf preferred);
	PDF of plat, on media or preferably e-mailed to smatlack@co.delaware.oh.us
	Confirmation of receipt (via transmittal form or e-mail) of any additional required information submitted to the Sanitary Engineer's office, and the Health District (if applicable, including the Soil Scientist Report);
	Fee - \$500 base, plus \$110 per build lot, CADs require additional fees; For commercial and multi-family - \$500 base, plus \$110 per acre; (Refer to Fee Schedule for Soil and Water and Health fees) \$ <u>2,040</u>

Lexus Thornton 02/28/2025

Owner (or agent for owner) and Date

brack engineering
NATHAN HARRINGTON
5659 GREYSTONE LN
HILLIARD, OH 43026
E: NHARRINGTON@BRACKENG.COM
P: 614-506-3662

TITLE SHEET
ASMRE HOLDINGS OLD 3C HWY CAD
4461 S. OLD 3C HWY, WESTERVILLE OHIO 43082

REVISIONS
NO. DATE DESCRIPTION

DATE: 02/25/2025
JOB NO.: 2024-58
DESIGN: NBH
CHECKED: NBH
SHEET NO.

ENGINEER OF RECORD DATE

PRELIMINARY DEVELOPMENT PLANS FOR ASMRE HOLDINGS OLD 3C HWY CAD FARM LOT 4, QUARTER TOWNSHIP 1, TOWNSHIP 3, RANGE 17, USML TOWNSHIP OF GENOA, COUNTY OF DELAWARE, STATE OF OHIO

GENERAL SUMMARY

SITE ADDRESS: 4461 S OLD 3C HWY, WESTERVILLE, OH 43082
PARCEL: PID: 317-130-01-002-000, 317-130-01-002-002, 317-130-01-002-003
ZONING: CURRENT: (PRD) PLANNED RESIDENTIAL DISTRICT
PROPOSED: (RR) RURAL RESIDENTIAL DISTRICT

GENOA TOWNSHIP REGULATIONS:

MINIMUM LOT AREA: TWO (2) ACRES. EXCLUDING COMMON ACCESS DRIVE EASEMENTS
MINIMUM LOT FRONTAGE: CORNER LOTS: 150', TOTAL FLAG LOTS: 60' FEET LANDLOCKED LOTS: 150'
MINIMUM LOT WIDTH: A) ALL LOTS SHALL BE AT LEAST 60' WIDE BETWEEN ITS REQUIRED FRONTAGE AND REQUIRED FRONT YARD SETBACK. B) ALL LOTS SHALL BE 150' WIDE AT REQUIRED FRONT SETBACK.
SETBACKS: FRONT: 75' SIDE: 25' REAR: 50'

PROPERTY DESCRIPTION

ORIGINAL AREA:	22.053 AC.
PROPOSED NUMBER OF LOTS:	4
LOT # 1	6.530 AC. (EXCLUDING PUBLIC R/W & CAD ESMT = 5.206 AC)
LOT # 2	6.355 AC. (EXCLUDING CAD ESMT = 5.828 AC)
LOT # 3	6.103 AC. (EXCLUDING CAD ESMT = 6.067 AC)
LOT # 4	3.029 AC. (EXCLUDING CAD ESMT = 2.657 AC)
TOTAL CAD LOTS	22.05 AC.
DEVELOPMENT/ GROSS DENSITY	0.18 DWELLING UNITS/ ACRE (4 LOTS / 22.05 AC)
CAD EASEMENT	2.09 AC.
OLD 3C HWY R/W (30')	0.27 AC.
NET AREA	19.89 AC. (EXCLUDING ALL EASE. & ROW)
NET DENSITY	0.20 DWELLING UNITS/ ACRE
AREA DISTURBED	1.50 AC NOI# - TBD

BASIS OF BEARINGS

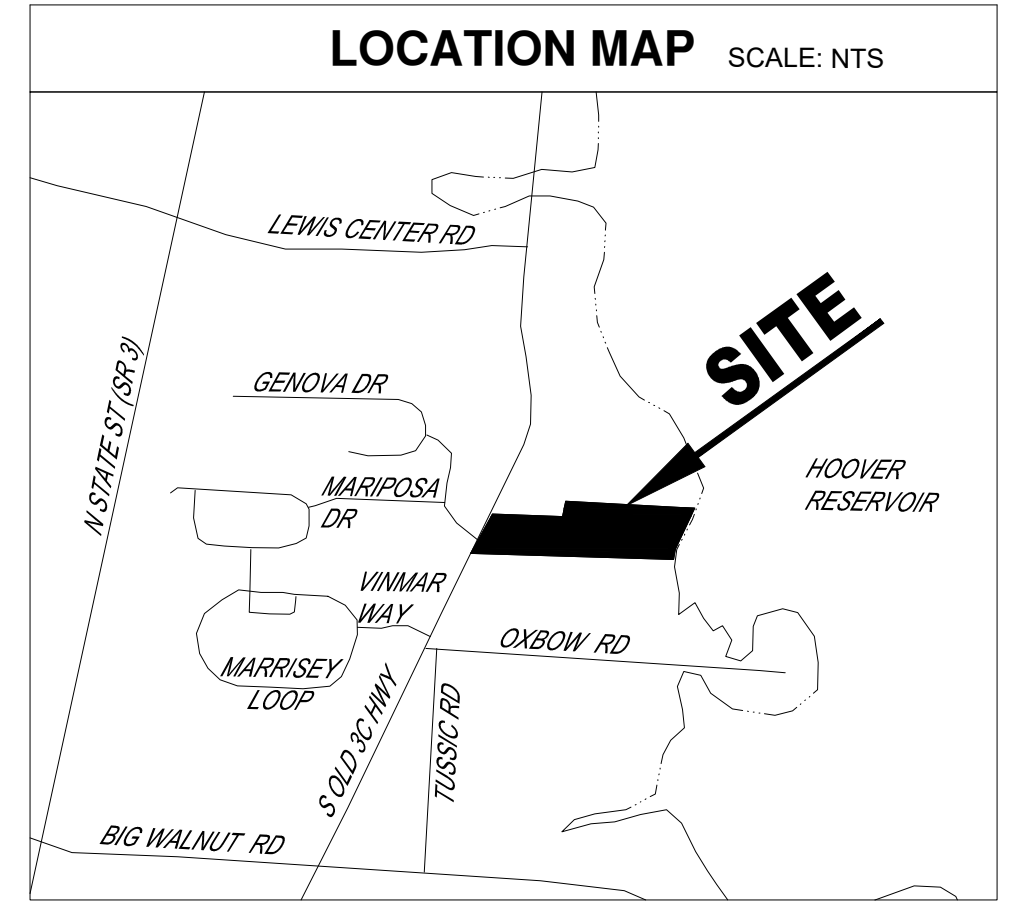
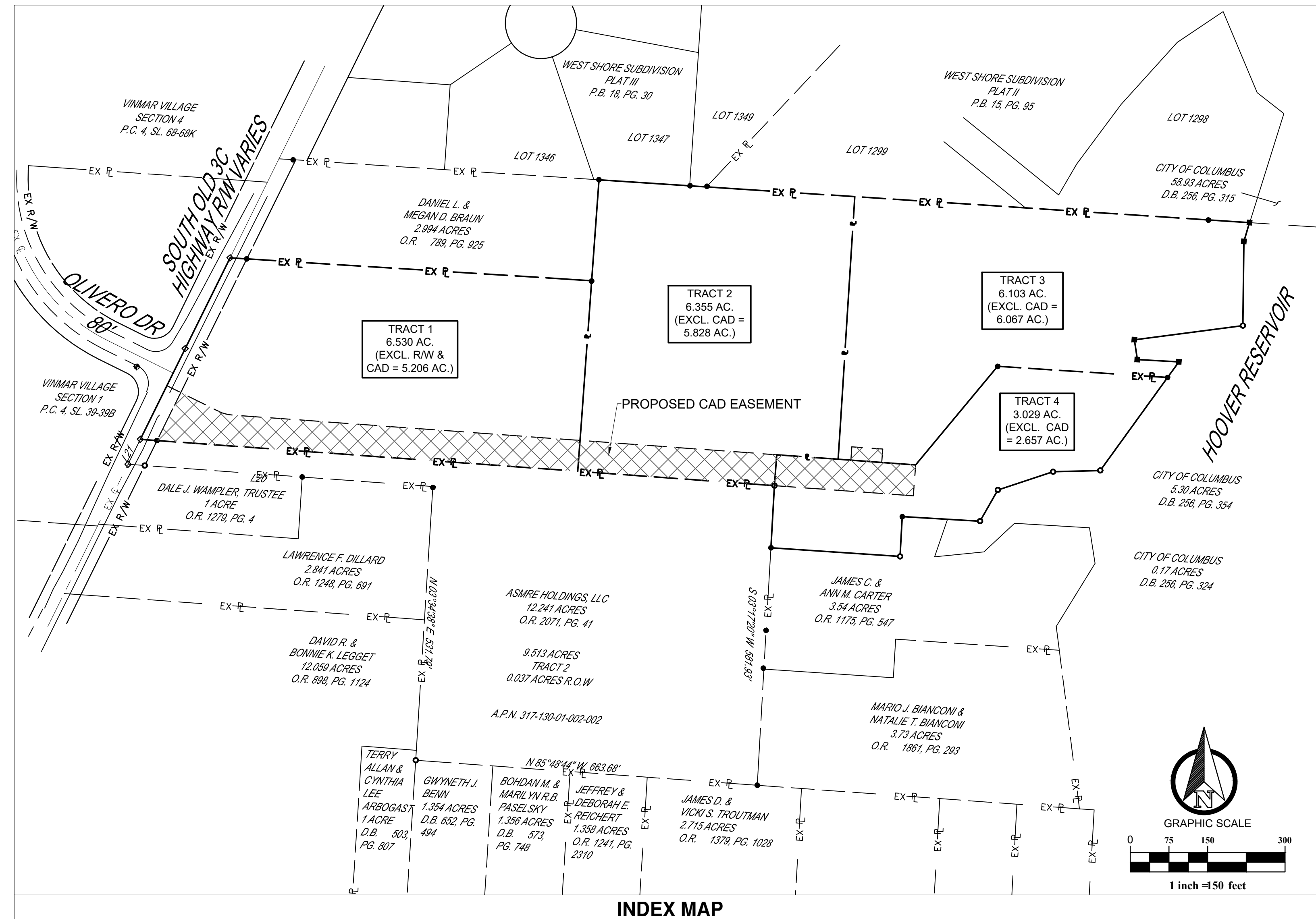
ALL EXISTING CONDITIONS, TOPOGRAPHY, UTILITIES, & EASEMENTS ARE AS TAKEN FROM A SURVEY PROVIDED BY LANDMARK SURVEY GROUP, SITUATED IN WESTERVILLE, DELAWARE COUNTY, OHIO, DATED 2/14/2025. LANDMARK SURVEY GROUP
SCOTT GRUNDEI
614-485-9000
SCOTT.GRUNDEI@LANDMARKSURVEY.COM
PER INFORMATION PROVIDED BY THE SURVEYOR: BEARINGS ARE BASED ON THE OHIO STATE PLANE COORDINATE SYSTEM, NORTH ZONE, NAD83 (CORS). SAID BEARINGS ORIGINATED FROM A FIELD TRAVERSE WHICH WAS REFERENCED TO SAID COORDINATE SYSTEM BY GPS OBSERVATIONS AND OBSERVATIONS OF SELECTED STATIONS IN THE OHIO DEPARTMENT OF TRANSPORTATION REAL-TIME-NETWORK. THE PORTION OF THE CENTERLINE OF OLD 3C HIGHWAY, HAVING A BEARING OF NORTH 26°17'22" EAST AND MONUMENTED AS SHOWN HEREON, IS DESIGNATED THE "BASIS OF BEARING" FOR THIS PLAT.

FLOODPLAIN DATA

PANEL: 39041C0259K
EFFECTIVE DATE: 4/16/2009
ZONE X: AREAS DETERMINED TO BE OUTSIDE OF THE (500 YEAR) 0.2% ANNUAL CHANCE FLOODPLAIN.

DEVELOPMENT CONTACTS

PLANNING & ZONING DELAWARE REGIONAL PLANNING 109 N SANDUSKY STREET DELAWARE, OH 43015 SCOTT SANDERS 740-833-2260	SOIL & WATER DELAWARE SWCD 557 SUNBURY ROAD #A DELAWARE, OH 43015 PH: 740-368-1921	ENGINEERING DELAWARE CO. ENG. 50 CHANNING STREET DELAWARE, OH 43015 CHRIS BAUSERMAN, PE. PS PH: 740-833-2400
SANITARY SEWER DELAWARE CO. SANITARY ENG. 50 CHANNING STREET DELAWARE, OH 43015 PH: 740-833-2240	WATER DEL-CO WATER COMPANY INC 6658 OLENTANGY RIVER RD. DELAWARE, OH 43015 CRIS VALENZUELA PH: 740-548-7746 X 2402	SURVEYOR LANDMARK SURVEY GROUP 690 LAKEVIEW PLAZA BLVD. SUITE A SCOTT GRUNDEI, P.S. PH: 614-485-9000 EMAIL: SCOTT.GRUNDEI@LANDMARKSU RVEY.COM



SHEET LEGEND

Sheet Number	Sheet Title
1	TITLE SHEET
2	TYPICAL SECTIONS
3	EXISTING CONDITIONS
4	OVERALL SITE PLAN
5	GRADING & DRAINAGE PLAN
6	UTILITY PLAN
7	SIGHT DISTANCE EXHIBIT

VARIANCES

VARIANCES REQUESTED FOR RUNOFF RELEASE RATES PER ARTICLE IX. REQUESTED DUE TO THE MINOR AFFECT TO THE OVERALL DRAINAGE.

DATE APPROVED: _____

APPROVALS

THE DELAWARE COUNTY ENGINEER'S DESIGN, CONSTRUCTION AND SURVEY STANDARDS, THE STANDARD SPECIFICATIONS OF THE CITY OF COLUMBUS, CURRENT EDITION, INCLUDING STANDARD DRAWINGS AND SUPPLEMENTAL SPECIFICATIONS LISTED SHALL GOVERN THIS IMPROVEMENT.

THE DELAWARE COUNTY ENGINEER'S SIGNATURE ON THIS PLAN SIGNIFIES ONLY CONCURRENCE WITH THE GENERAL PURPOSE AND LOCATION OF THE PROPOSED IMPROVEMENTS WITH RESPECT TO IMPROVEMENTS WITHIN THE RIGHT-OF-WAY, STORM WATER MANAGEMENT, EROSION AND SEDIMENT CONTROL. ALL TECHNICAL DETAILS REMAIN THE RESPONSIBILITY OF THE PROFESSIONAL ENGINEER WHO PREPARED AND CERTIFIED THE PLANS.

DELAWARE COUNTY ENGINEER:

CHRIS BAUSERMAN, PE DATE

WATER SYSTEM APPROVAL:

CHIEF OPERATING OFFICER - DEL-CO WATER DATE

ENGINEER

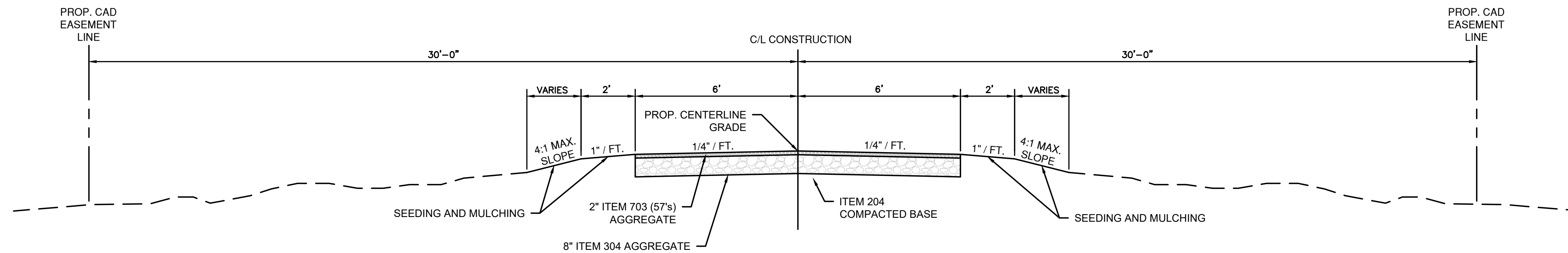
THIS IS TO CERTIFY THAT GOOD ENGINEERING PRACTICES HAVE BEEN UTILIZED IN THE DESIGN OF THIS PROJECT AND THAT ALL OF THE MINIMUM STANDARDS AS DELINEATED IN THE DELAWARE COUNTY DESIGN, CONSTRUCTION AND SURVEYING STANDARDS MANUAL HAVE BEEN MET, INCLUDING THOSE STANDARDS GREATER THAN MINIMUM WHERE, IN MY OPINION THEY ARE NEEDED TO PROTECT THE SAFETY OF THE PUBLIC. ANY VARIANCES TO ABOVE STANDARDS ARE CONSISTENT WITH SOUND ENGINEERING PRACTICES AND ARE NOT DETRIMENTAL TO THE PUBLIC SAFETY AND CONVENIENCE. THESE VARIANCES HAVE BEEN LISTED HEREIN AND HAVE BEEN APPROVED BY THE DELAWARE COUNTY ENGINEER.

ENGINEER OF RECORD DATE

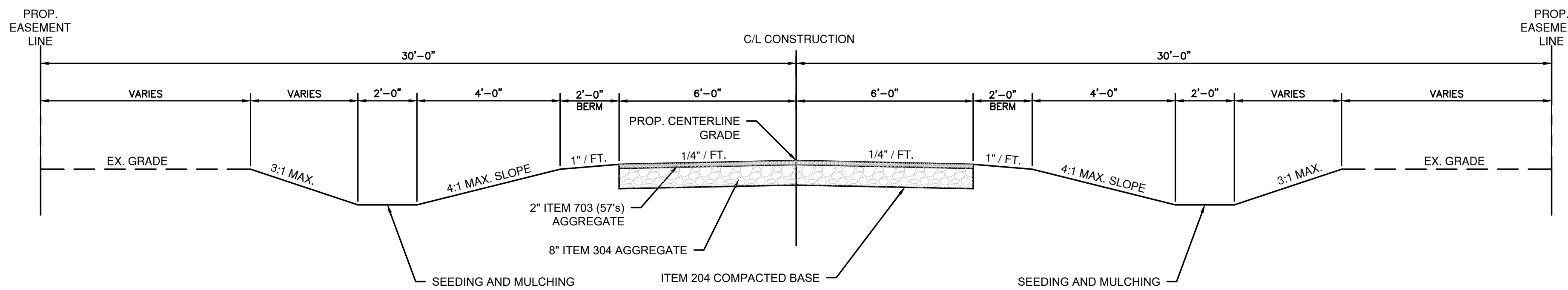
CHANGE ORDER SCHEDULE

CHANGE	PREPARED	DATE OF CHANGE	DESCRIPTION OF CHANGE	SHEET NO.	APPROVED	DATE OF APPROVAL

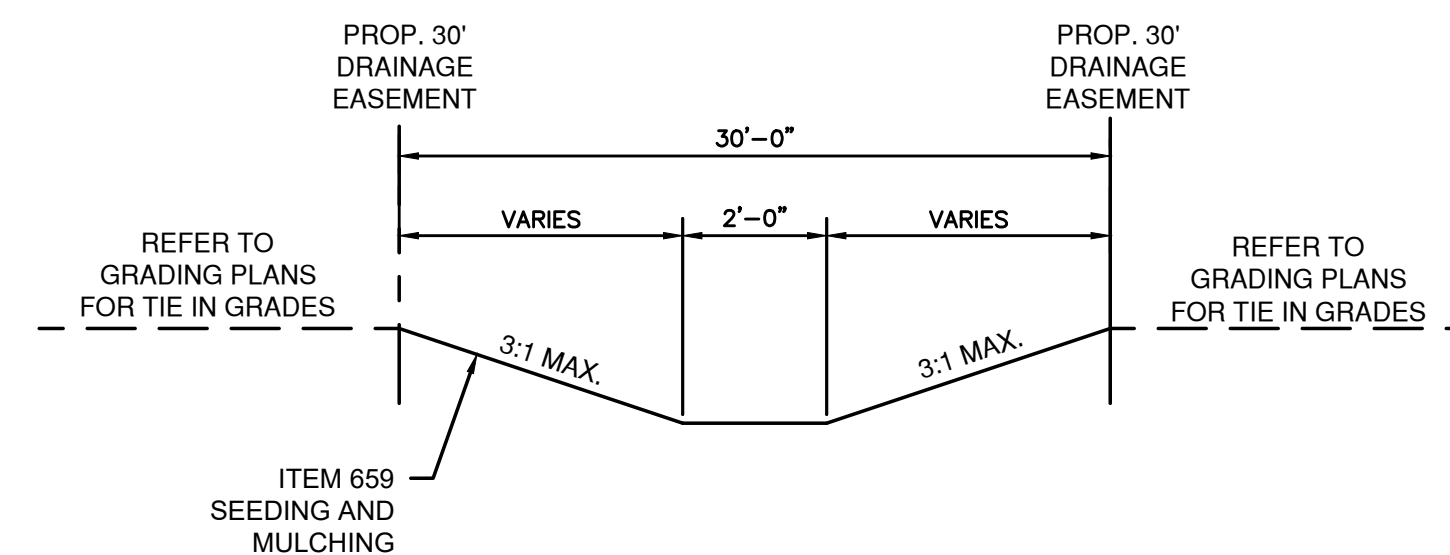




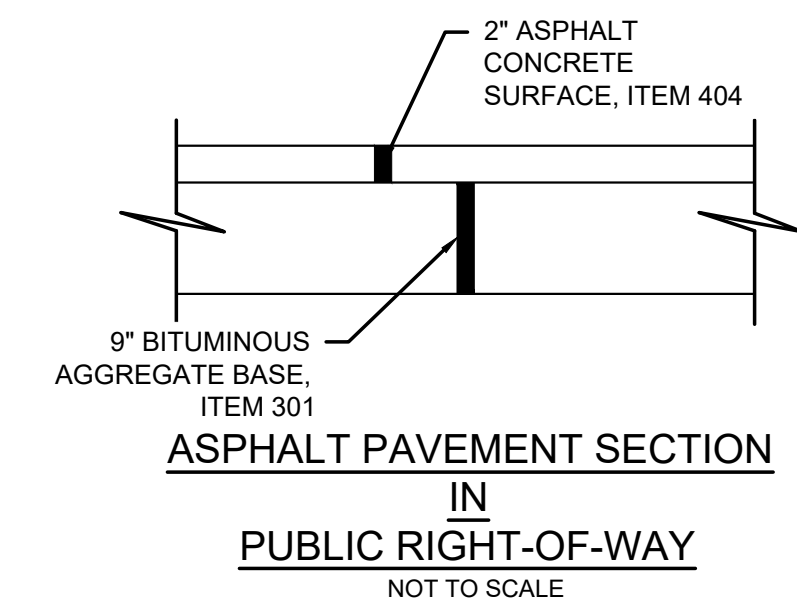
COMMON ACCESS DRIVE TYPICAL SECTION
STA: 0+00 - 5+00
SCALE: N.T.S.



COMMON ACCESS DRIVE TYPICAL SECTION
STA: 5+00 - 14+00
SCALE: N.T.S.

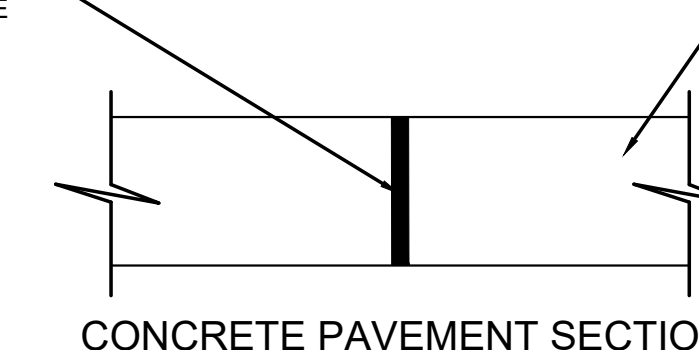


DRAINAGE DITCH SECTION
SCALE: N.T.S.



ASPHALT PAVEMENT SECTION
IN
PUBLIC RIGHT-OF-WAY
NOT TO SCALE

8" CONCRETE, ITEM 305
(CLASS "C" PER DELAWARE
COUNTY SUPPLEMENTAL
SPECIFICATIONS)

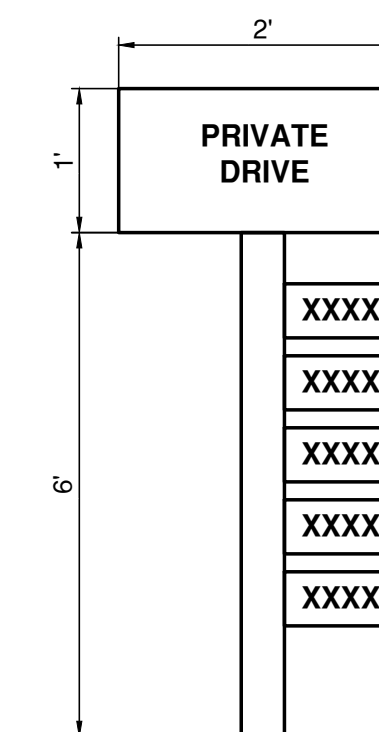


CONCRETE PAVEMENT SECTION
IN
PUBLIC RIGHT-OF-WAY
(IN LIEU OF ASPHALT)
NOT TO SCALE

*REFER TO DCED-R2202
OR DCED-R2203B FOR
PAVEMENT ASPHALT
REQUIREMENT ALONG
ROADWAY*

SITE REQUIREMENT - NOTES TO DEVELOPER

- A A POLE SIGN SHALL BE INSTALLED AT THE SUBDIVIDE'S EXPENSE, LOCATED AT THE CAD INTERSECTION WITH THE CONNECTING PUBLIC OR PRIVATE ROAD. SUCH SIGN MAY BE INTEGRATED INTO A COMMON MAILBOX STRUCTURE. THE POLE SIGN SHALL BE MADE OF ROT-RESISTANT WOOD OR COMPARABLE WEATHER-RESISTANT MATERIAL. THE POLE SIGN SHALL BE PLACED OUTSIDE THE PUBLIC RIGHT-OF-WAY AND SHALL INCLUDE THE WORDS "PRIVATE DRIVE" IN CONTRASTING LETTERS. THE "PRIVATE DRIVE" SIGN SHALL BE NO LARGER THAN TWO SQUARE FEET (1 FOOT BY 2 FEET) ON EACH SIDE. ALL CAD ADDRESSES SHALL BE DISPLAYED COLLECTIVELY ON THE POLE-SIGN AT THE CAD ENTRANCE AND SHALL BE MADE OF REFLECTIVE MATERIAL. THE "PRIVATE DRIVE" SIGN AND ADDRESSES SHALL BE LEGIBLE FROM THE CONNECTING PUBLIC OR PRIVATE ROAD AND CONTINUOUSLY MAINTAINED AT THIS LOCATION. A RENDERING OF THE SIGN INCLUDING PROPOSED MATERIALS SHALL BE SUBMITTED AT THE TIME OF PRELIMINARY PLAN APPLICATION.
- B EACH LOT SHALL INDIVIDUALLY DISPLAY ITS ADDRESS AT THE DRIVEWAY ENTRANCE TO THE CAD WHEN THE ADDRESS IS ASSIGNED. THE ADDRESS/ SIGN BE MADE OF REFLECTIVE MATERIAL AND BE LEGIBLE FROM EACH LOT'S DRIVEWAY ENTRANCE.
- C ALL TREES AND SHRUBS INCLUDING PROTRUDING BRANCHES WITHIN 16' HORIZONTALLY AND 20' VERTICALLY FROM THE CENTERLINE OF THE CAD SHALL BE REMOVED AND MAINTAINED AS CLEARED AREA UNLESS THERE IS A MORE RESTRICTIVE STANDARD IN THE TOWNSHIP.
- D THERE SHALL BE NO FUTURE EXTENSION OF OR OFF THE CAD TO ADDITIONAL LANDS UNLESS APPROVED BY THE RPC AT ITS DISCRETION.



NOTES

1. POST TO BE 4"x4" TREATED WOOD
2. POST TO BE SET AT LEAST 36" DEEP AND BACKFILLED WITH FASTSETTING CONCRETE.
3. SIGN TO BE LOCATED OUTSIDE PUBLIC RIGHT-OF-WAY.

EXAMPLE OF CAD DRIVE SIGN
(SEE SITE REQUIREMENT NOTE A)

TYPICAL SECTIONS

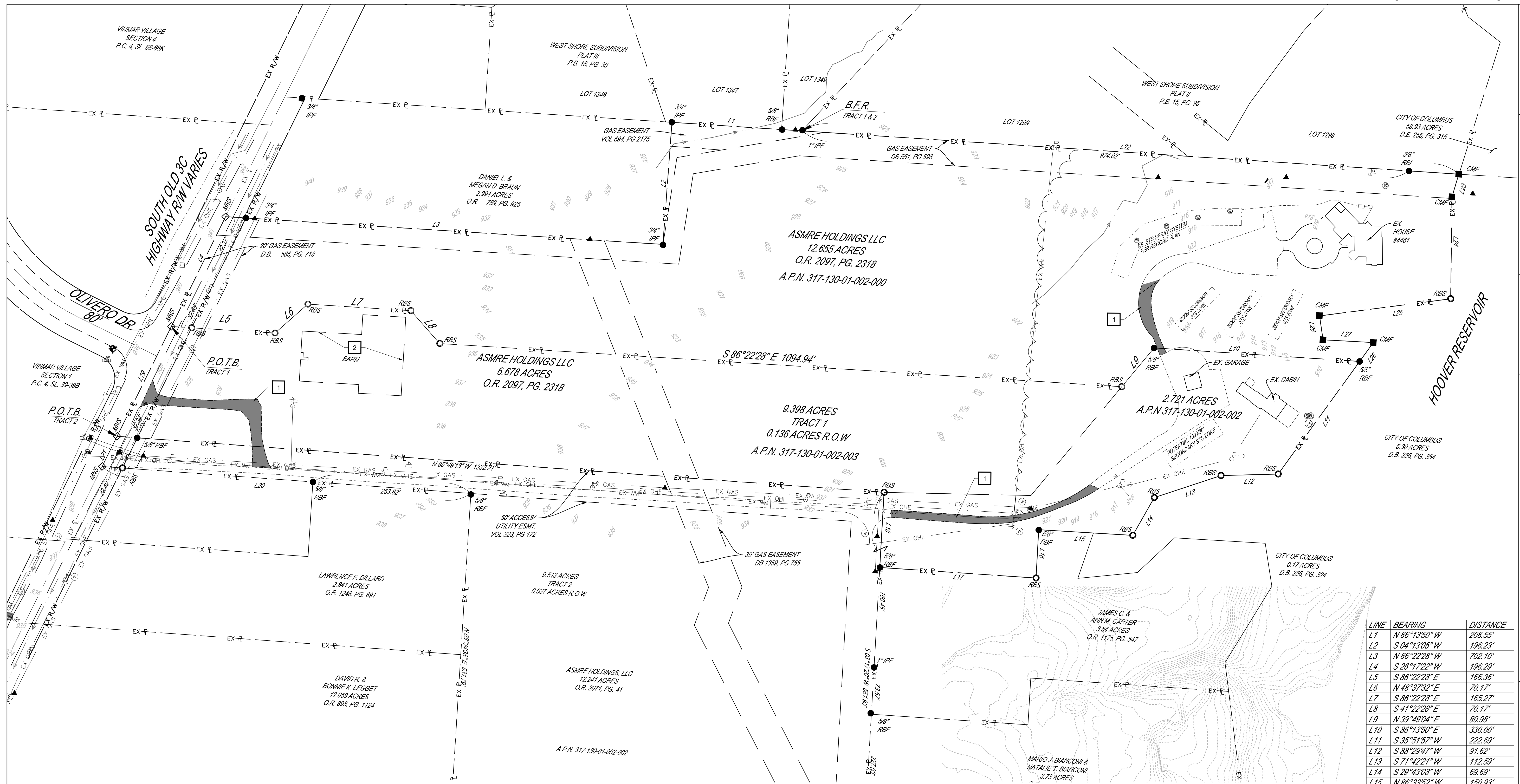
ASMRE HOLDINGS OLD 3C HWY CAD

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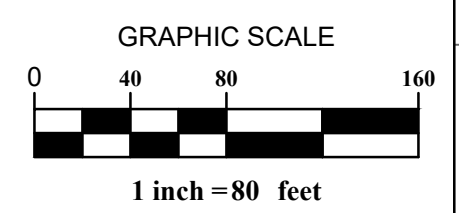
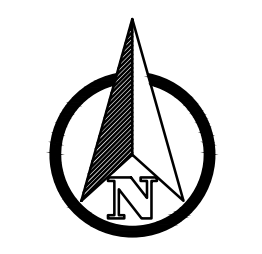


LINE	BEARING	DISTANCE
L1	N 86°13'50" W	208.55'
L2	S 04°13'05" W	196.23'
L3	N 86°22'28" W	702.10'
L4	S 26°17'22" W	196.29'
L5	S 86°22'28" E	166.36'
L6	N 48°37'32" E	70.17'
L7	S 86°22'28" E	165.27'
L8	S 41°22'28" E	70.17'
L9	N 39°49'04" E	80.98'
L10	S 86°13'50" E	330.00'
L11	S 35°51'57" W	222.69'
L12	S 88°28'47" W	91.62'
L13	S 71°42'21" W	112.59'
L14	S 29°43'08" W	69.69'
L15	N 86°33'52" W	150.93'
L16	S 03°11'20" W	77.55'
L17	N 86°08'29" W	250.90'
L18	N 03°17'20" E	120.62'
L19	N 26°17'22" E	196.29'
L20	N 85°49'13" W	592.31'
L21	N 26°17'22" E	53.98'
L22	S 86°13'50" E	1053.90'
L23	S 16°27'42" W	38.27'
L24	S 00°43'56" W	763.11'
L25	S 82°32'56" W	211.88'
L26	S 08°16'31" E	38.70'
L27	S 86°55'28" E	80.65'
L28	S 35°51'57" W	37.40'

- KEYED NOTES**
- 1 EXISTING GRAVEL DRIVE TO BE REMOVED. DRIVES TO RESIDENTIAL HOUSES TO BE REMOVED ONCE THE CAD IS INSTALLED AND DRIVEWAYS ARE RECONNECTED
 - 2 EXISTING BARN TO REMAIN. FUTURE OWNER TO REMOVE AS NEEDED

EXISTING CONDITIONS LEGEND

	EXISTING CONTOURS
	EXISTING DRAINAGE COURSE
	EXISTING TREE LINE
	EXISTING GRAVEL DRIVE TO REMOVED

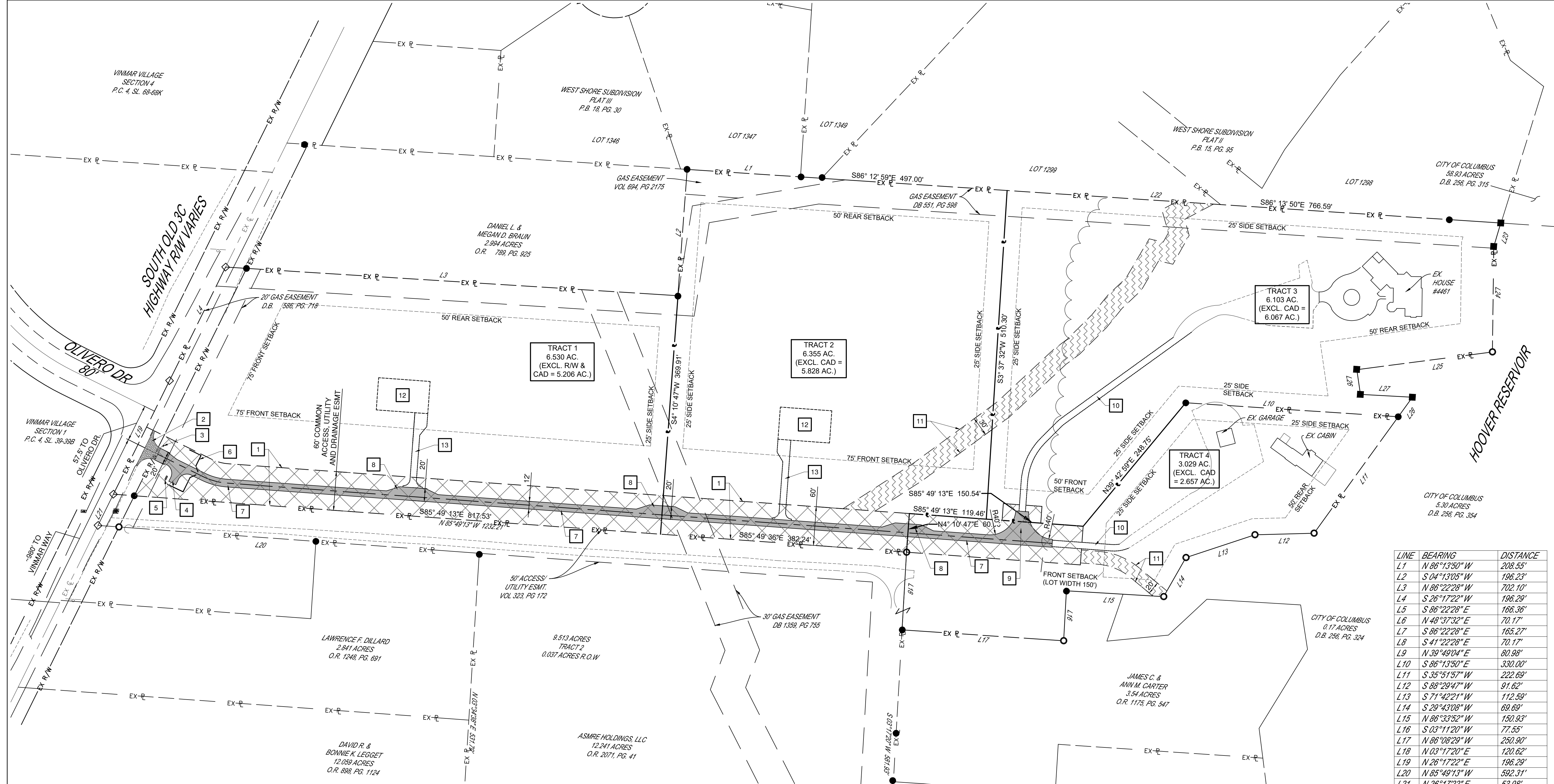


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 SHEET NO. **3**

brack engineering
NATHAN HARRINGTON
5659 GREYSTONE LN
HILLIARD, OH 43026
E: NHARRINGTON@BRACKENG.COM
P: 614.506.3662

OVERALL SITE PLAN
ASMRE HOLDINGS OLD 3C HWY CAD
4461 S. OLD 3C HWY, WESTERVILLE OHIO 43082



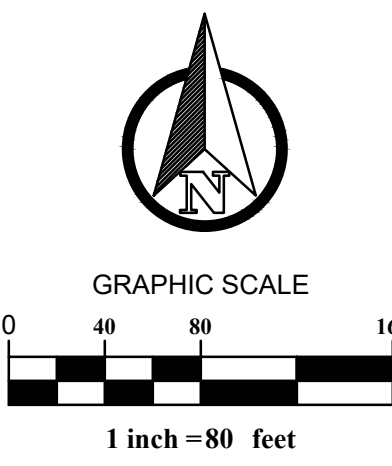
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L27	S 86°55'28" E	80.65'
L28	S 35°51'57" W	37.40'

KEYED NOTES

- PROPOSED 60' COMMON ACCESS, UTILITY AND DRAINAGE EASEMENT
- PROPOSED DRIVEWAY APPROACH WITHIN ROW TO BE A PAVED SURFACE. SEE TYPICAL SECTIONS ON SHEET 2 FOR PAVEMENT OPTIONS.
- PROPOSED PRIVATE DRIVE SIGN. SEE EXAMPLE ON SHEET 3
- PROPOSED PULL-OFF / TURN AROUND AREA
- PROPOSED LOCATION FOR CLUSTER MAILBOX
- PROPOSED FENCE / GATE ENTRANCE.
- PROPOSED 12' GRAVEL CAD DRIVE
- PROPOSED BYPASS AREA. BYPASS AREA TO BE 20' WIDE X 40' LONG.
- PROPOSED T-TURNAROUND
- PRIVATE DRIVES TO BE RECONFIGURED TO CONNECT FROM EXISTING DRIVE TO THE NEW CAD.
- PROPOSED DRAINAGE EASEMENT. SEE PLAN FOR EASEMENT WIDTH
- POTENTIAL FUTURE HOUSE (BY OTHERS). FINAL LOCATION TO BE DETERMINED AT TIME OF THE BUILDING PERMIT.
- POTENTIAL FUTURE DRIVE (BY OTHERS). FINAL LOCATION TO BE DETERMINED AT TIME OF THE BUILDING PERMIT.

PLAN LEGEND

	60' COMMON ACCESS, UTILITY AND DRAINAGE EASEMENT
	PROPOSED GRAVEL DRIVE
	PROPOSED PAVED DRIVEWAY APPROACH
	EXISTING TREE LINE
	PROPOSED DRAINAGE EASEMENT
	EXISTING PROPERTY LINE
	PROPOSED EASEMENT LINE
	PROPOSED PROPERTY LINE
	BUILDING SETBACK LINE



GENERAL NOTES:
ENVIRONMENTAL HEALTH
THE OWNERS, THEIR SUCCESSORS, HEIRS OR ASSIGNS OF THE HEREIN DELINEATED LOTS AGREE SAID LOT(S) SHALL BE CONNECTED TO SAID CENTRAL SEWER. ACCEPTANCE OF TITLE TO A DELINEATED LOT SHALL CONSTITUTE WAIVER OF FURTHER NOTICE OF HEARING ON THIS REQUIREMENT. THIS COVENANT SHALL BE INCLUDED TO TITLE FOR SAID LOT(S). ALL FEES AND COST ASSOCIATED WITH THE CONNECTION TO CENTRAL SEWER ARE THE RESPONSIBILITY OF THE HOMEOWNER AT THE TIME OF INSTALLATION AND CONNECTION.

THE PROPOSED SEWAGE TREATMENT SYSTEM (STS) AREA(S) COMPLIES WITH §3701-29 OF THE OHIO ADMINISTRATIVE CODE. DEPICTED STS FIELDS ASSUMED MOUND SYSTEM ON ALL LOTS UNLESS OTHERWISE NOTED. ALL STS HAVE BEEN EVALUATED AS A SEPTIC TANK WITH AERATOR TO MOUND SYSTEM DESIGN. ALTERNATIVE DESIGNS MAY BE FEASIBLE AS DEEMED APPROPRIATE BY THE DESIGNER AND/OR DGHD. DESIGNER PLAN FOR SEPTIC SYSTEM MUST BE APPROVED BY THE DGHD. DRIVEWAY AND UTILITY LOCATIONS THROUGH LOTS ARE NOT TO RUN OVER PROPOSED SEWAGE TREATMENT AREAS (PRIMARY OR SECONDARY) UNLESS ALTERNATIVE AREAS ARE APPROVED BY THE DGHD. TREES FALLING WITHIN STS AREA(S) MUST BE CLEAR-CUT BEFORE INSTALLATION.

PRIOR TO ANY ADDITIONAL BUILDINGS ON THE SITE, THE OWNER MUST COORDINATE WITH THE DGHD TO DETERMINE THAT THE APPROVED ON-SITE STS AREA (PRIMARY & SECONDARY) ARE COMPATIBLE WITH THE OWNERS DESIRED CONSTRUCTION AND EXCAVATION PLANS. DEPENDING ON FINAL HOUSE AND PLUMBING ELEVATIONS, PUMPS MAY BE REQUIRED FOR DELIVERING SEWAGE EFFLUENT TO STS AREAS.

SOIL REPORT BY LARRY THORNES ON DECEMBER 7 2024 ON FILE AT DELAWARE GENERAL HEALTH DISTRICT.

DRAINAGE: WITHIN THE AREAS OF LAND DESIGNATED "DRAINAGE EASEMENT" AN EASEMENT IS HEREBY RESERVED FOR THE MAINTENANCE OF DRAINAGE FACILITIES, INCLUDING BUT NOT LIMITED TO DITCHES, SWALES AND SUBSURFACE DRAINAGE FOR THE BENEFIT AND USE OF THE PUBLIC. DEVELOPMENT AND FUTURE USE OF THESE LOT(S) SHALL NOT CREATE OBSTRUCTIONS TO THE FLOW OF WATER WITHIN THE EASEMENT. DRIVEWAY MAY CROSS EASEMENT IF AN APPROPRIATE CULVERT IS MAINTAINED TO ALLOW NATURAL FLOW OF WATER.

BE ADVISED: A SUBSURFACE DRAINAGE SYSTEM MAY EXIST ON THIS SITE. THE SYSTEM AND/OR OUTLET IF LOCATED ON THIS PROPERTY MUST BE MAINTAINED AT ALL TIMES.

SIGHT DISTANCE: ALL OBSTRUCTIONS WITHIN THE REQUIRED LINE OF SIGHT TRIANGLE HAVE BEEN MARKED ONSITE AND WILL BE REMOVED DURING CONSTRUCTION, PER COUNTY ENGINEER'S REQUEST.

EASEMENTS: ALL REPRESENTED EASEMENTS, NOT PREVIOUSLY RECORDED, WILL BE RECORDED WITH THE DELAWARE COUNTY RECORDER'S OFFICE BEFORE OR AT THE TIME THIS LOT SPLIT IS RECORDED.

CAD MAINTENANCE: A COMMON ACCESS DRIVEWAY MAINTENANCE AGREEMENT WILL BE RECORDED PRIOR TO FINAL PLAT BEING RECORDED. THE DRIVE SHALL BE BUILT IN ACCORDANCE WITH SUBSEQUENTLY APPROVED ENGINEERING PLANS INCLUDING THE PICTURED CAD SIGN.

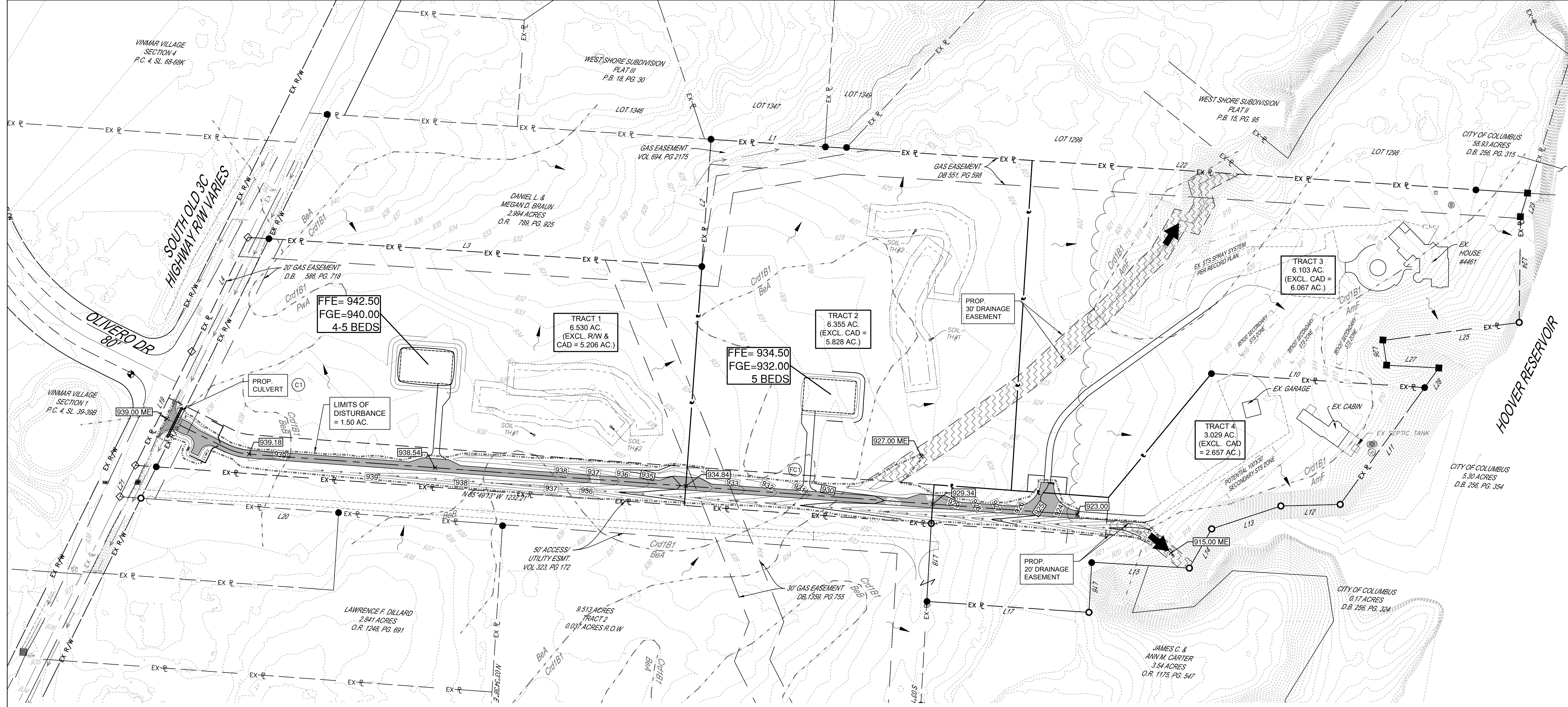
CRITICAL RESOURCES: THERE ARE NO KNOWN CEMETERIES, HISTORICAL SITES OR ARCHEOLOGICAL SIGNIFICANCE ON SITE OR WITHIN 200 FEET OF ITS BOUNDARIES. A PRELIMINARY REPORT OF THE WATERS OF THE UNITED STATES WAS COMPLETED BY MATT KAMINSKI (WITH CENTRAL OHIO WETLAND CONSULTING, LLC) FEBRUARY 6 2025.

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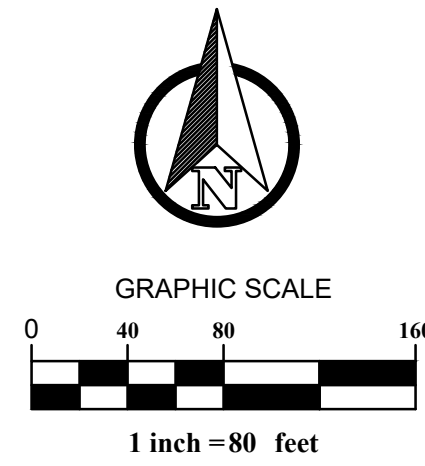
GRADING & DRAINAGE PLAN
ASMRE HOLDINGS OLD 3C HWY CAD
4461 S. OLD 3C HWY, WESTERVILLE OHIO 43082



NOTE TO CONTRACTOR / FUTURE LOT OWNERS

OWNERS/ CONTRACTORS OF FUTURE LOTS SHALL CREATE POSITIVE DRAINAGE AROUND MOUND SEPTIC SYSTEMS AND ENSURE DRAINAGE IS NOT BLOCKED UPSTREAM OR PONDING OCCURS AROUND MOUND SYSTEMS.
POTENTIAL SUBSURFACE DRAINAGE SYSTEM (FIELD TILES) HAVE BEEN SHOWN ON THIS PLAN BASED ON COUNTY AERIAL PHOTOGRAPHY. ADDITIONAL TILES MAY EXIST ON THE PROPERTY THAT ARE NOT SHOWN. IF ENCOUNTERED DURING CONSTRUCTION THE SYSTEM AND/OR OUTLET SHALL BE MAINTAINED AT ALL TIMES. IT WILL BE THE CONTRACTORS/ FUTURE LAND OWNERS RESPONSIBILITY TO REPAIR, REPLACED AND/OR RE-ROUTED AS NEEDED TO MAINTAIN SYSTEM.

GRADING PLAN LEGEND	
	EXISTING CONTOURS
	PROPOSED CONTOURS
	PROPOSED SPOT ELEVATION
	PROPOSED SLOPE
	PROPOSED SWALE
	PROPOSED STORM STRUCTURE
	FUTURE CULVERT BY OTHERS
	FLOW ARROW
	PROPOSED FINISH GRADE ELEVATION (FINAL FFE & FGE SHALL BE DETERMINED BY FUTURE OWNER)
	MAJOR FLOOD ROUTING
	PROPOSED DRAINAGE EASEMENT
	CONSTRUCTION LIMITS / LIMITS OF DISTURBANCE
	PRELIMINARY SEPTIC FIELDS: FINAL SIZE AND LOCATION MAY VARY WITH FINAL DESIGN. ALL PROPOSED DISPOSAL SYSTEMS SHALL NOT VIOLATE OAC 3701-29. NO GRADING OR CONSTRUCTION ACTIVITY WITHIN 10' OF SEPTIC FIELDS.



REVISIONS NO.	DATE	DESCRIPTION

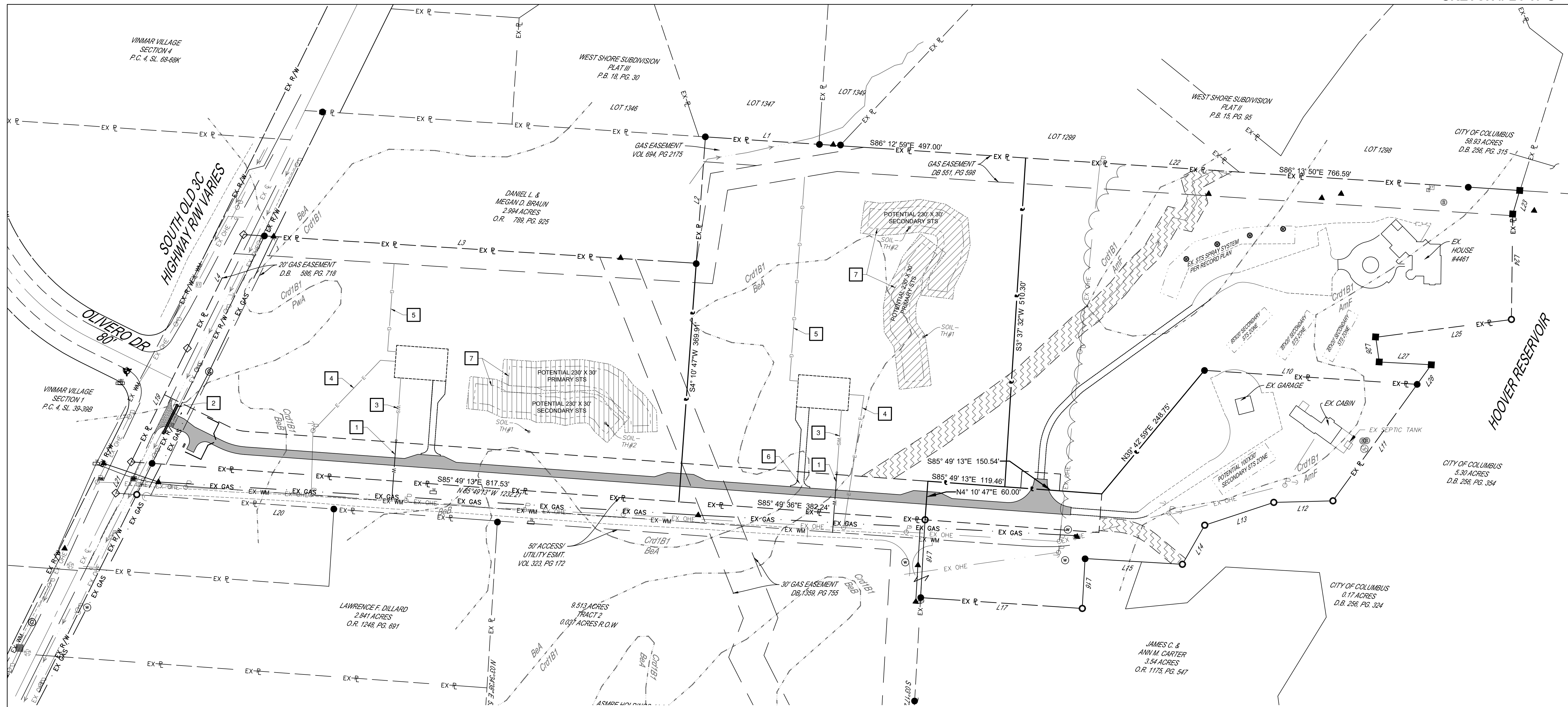
DATE: 02/25/2025
JOB NO.: 2024-58
DESIGN: NBH
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SHEET NO.

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UTILITY PLAN

ASMRE HOLDINGS OLD 3C HWY CAD

4461 S. OLD 3C HWY, WESTERVILLE OHIO 43082

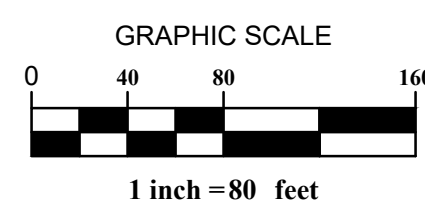
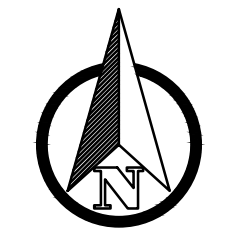


KEYED NOTES

- 1 PROPOSED 1" LONG WATER SERVICE PER DELCO STD D-34
- 2 PROPOSED STORM CULVERTS, STRUCTURES AND PIPING. SEE GRADING PLAN FOR DETAILS.
- 3 POTENTIAL FUTURE WATER SERVICE LINE (BY OTHERS)
- 4 POTENTIAL FUTURE ELECTRIC SERVICE LINE (BY OTHERS)
- 5 POTENTIAL FUTURE GAS SERVICE LINE (BY OTHERS)
- 6 POTENTIAL FUTURE DRIVEWAY CULVERT (BY OTHERS)
- 7 POTENTIAL PRIMARY AND SECONDARY 200'X35' STS FIELD (BY OTHERS). FINAL SIZE AND LOCATION TO BE DETERMINED BY FUTURE LAND OWNER. DISPOSAL SYSTEMS SHALL NOT VIOLATE OAC 3701-29. STS FIELDS TO BE 10' FROM ANY PROPERTY LINE OR EASEMENT AND 50' FROM WATER COURSE. DURING CONSTRUCTION OF THE CAD, THE CONTRACTOR SHALL PROTECT THESE AREAS WITH ORANGE FENCING (OR SIMILAR) AND ENSURE THE EXISTING GROUND IS NOT DISTURBED OR COMPACTED WITH HEAVY EQUIPMENT. FENCING TO BE PLACED 50' OUTSIDE POTENTIAL SEPTIC AREA. SEE EROSION CONTROL PLAN FOR DETAILS

PLAN LEGEND

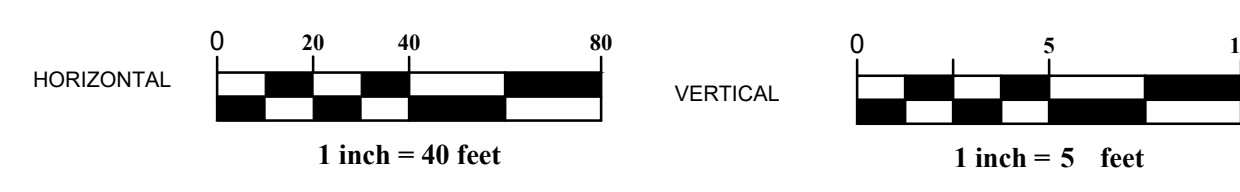
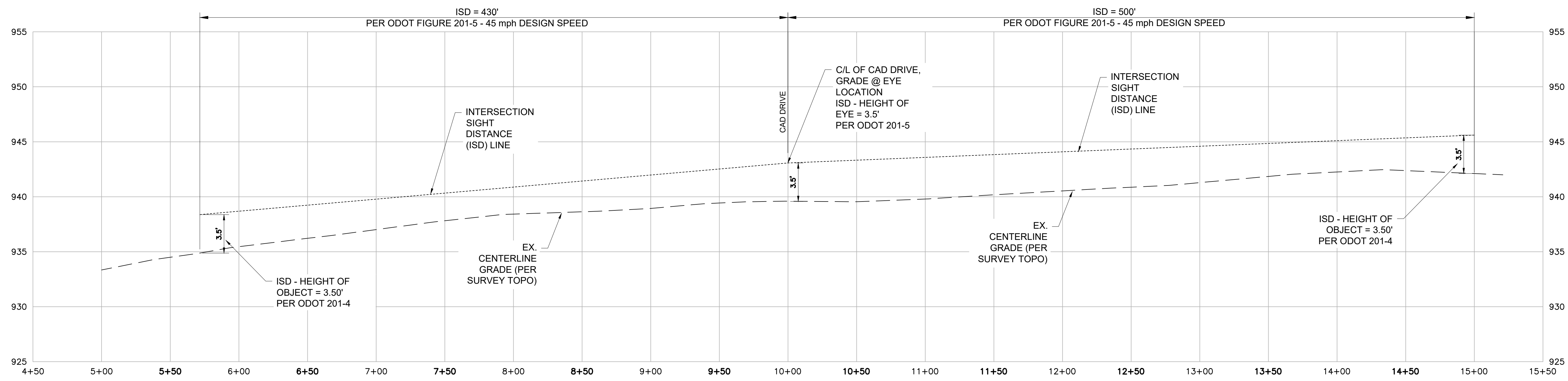
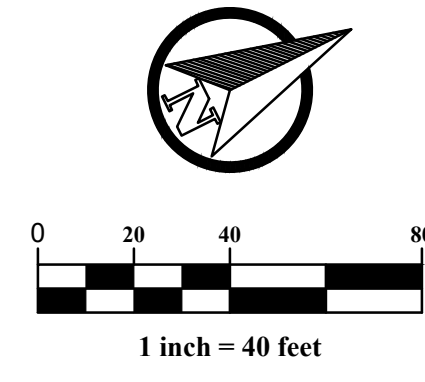
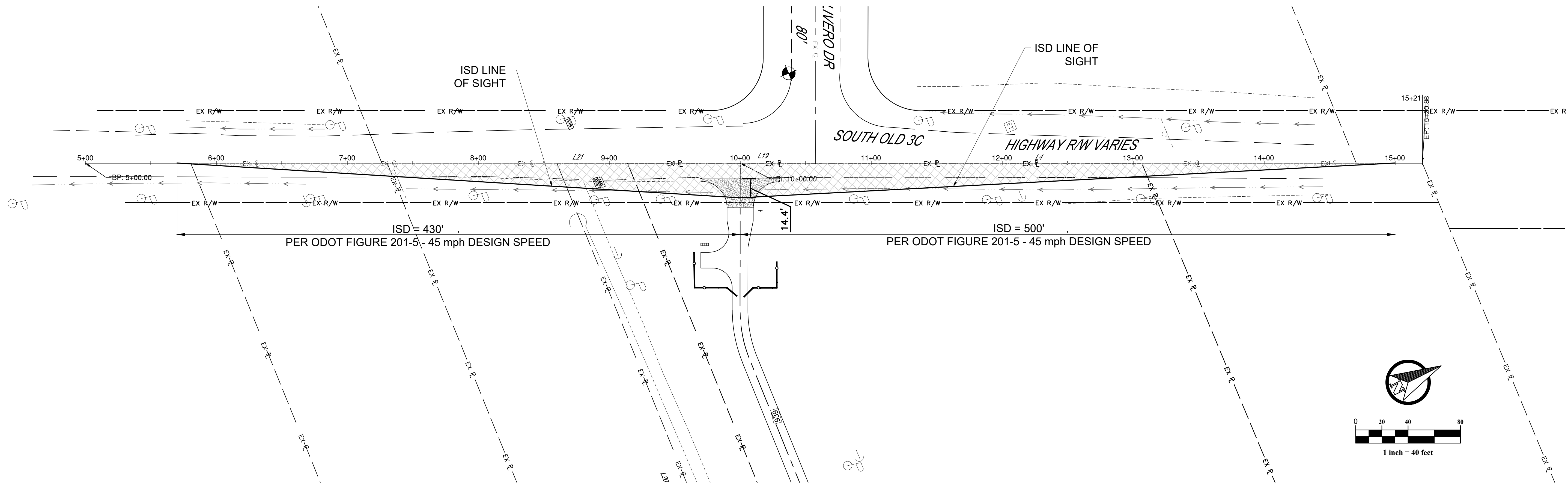
	EXISTING PROPERTY LINE
	PROPOSED EASEMENT LINE
	PROPOSED PROPERTY LINE
	PROPOSED WATER MAIN
	PROPOSED ELECTRIC MAIN
	PROPOSED GAS MAIN
	FUTURE WATER SERVICE
	FUTURE ELECTRIC SERVICE
	FUTURE GAS SERVICE
	POTENTIAL SEPTIC FIELD (AREA TO REMAIN UNDISTURBED)
	POTENTIAL FIELD TILE
	PROPOSED DRAINAGE EASEMENT



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SIGHT DISTANCE EXHIBIT

ASMRE HOLDINGS OLD 3C HWY CAD

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