



Preliminary Subdivision Application
Delaware County, Ohio
 (for unincorporated areas only)

RPC Sketch Plan Number 24-08-S
 RPC Number 12-24
 (RPC Staff will assign)

PROJECT	DREAM WEAVER ALIVE CAD	(circle one) <u>Residential</u> Commercial
TOWNSHIP	LIBERTY	
APPLICANT/ CONTACT	Name Gandeey Heydinger Group, LLC	Phone 6149426042
	Address <u>5676 SR 521, SUITE B</u>	E-mail <u>aheydinger@ghgcivil.com</u>
	City, State, Zip <u>DELAWARE, OH 43015</u>	

PROPERTY OWNER	Name DREAM WEAVER ALIVE LLC	Phone
	Address <u>2189 FORD ROAD</u>	E-mail <u>g.clark1231@yahoo.com</u>
	City, State, Zip <u>DELAWARE, OH 43015</u>	

SURVEYOR/ ENGINEER	Name Gandeey Heydinger Group, LLC	Phone 614-942-6042
	Address <u>5676 SR 521, SUITE B</u>	E-mail <u>aheydinger@ghgcivil.com</u>
	City, State, Zip <u>DELAWARE, OH 43015</u>	

LOCATION	(circle one) N <u>S</u> E W side of <u>FORD</u> <u>Road/Street</u>
	approx. <u>4,800</u> feet N S E <u>W</u> of <u>SAWMILL PARKWAY</u> <u>Road/Street</u>

DETAILS	Is a CAD involved? <u>yes</u> no
	Current Land Use <u>RESIDENTIAL</u> Del-Co Water <u>yes</u> no
	Current Zoning District <u>FR-1</u> Private wells yes <u>no</u>
	Buildable lots <u>3</u> Sanitary Sewer yes <u>no</u>
	Non-buildable <u>0</u> Electric Provider <u>AEP</u>
	Total Acreage <u>7.226</u> Gas Provider <u>Columbia Gas</u>
	Open Space Acreage <u>0</u> School District <u>Olentangy</u>

SUBMISSION REQUIREMENTS (Sub. Regs. Section 204.02)	4 Folded full-size copies of the Preliminary Plan, indicating Utility and Grading , and one 11" x 17" copy;
	Other Preliminary Engineering components shall be provided electronically to DCEO. PLEASE NOTE: DCEO does not require a separate Preliminary Engineering submission for Common Access Driveways, unless part of a larger subdivision.
	Preliminary Plan in digital format (GIS preferred), Preliminary Waters of the US Report Summary in digital format (pdf preferred);
	PDF of plat, on media or preferably e-mailed to <u>smatlack@co.delaware.oh.us</u>
	Confirmation of receipt (via transmittal form or e-mail) of any additional required information submitted to the Sanitary Engineer's office, and the Health District (if applicable, including the Soil Scientist Report);
	Fee - \$500 base, plus \$110 per build lot, CADs require additional fees; For commercial and multi-family - \$500 base, plus \$110 per acre; (Refer to Fee Schedule for Soil and Water and Health fees) \$ <u>1,755</u>

Aaron Heydinger 9/3/2024
 Owner (or agent for owner) and Date

BENCHMARKS	
BASED UPON FIELD OBSERVATION PERFORMED BY GANDEE HEYDINGER GROUP, JUNE 2024. BASIS OF BEARING HEREON ARE BASED UPON OHIO STATE PLANE, NORTH ZONE, US FOOT. HORIZONTAL DATUM: NAD83 (2011) VERTICAL DATUM: NAVD 88	
SOURCE	THE STATION IS A BRASS TABLET SET IN CONCRETE AND STAMPED "97-182". THE STATION IS LOCATED ON BUNTY STATION ROAD, 0.5 MILES EAST OF FORD ROAD AND 11' SOUTH OF THE EDGE OF PAVEMENT OF BUNTY STATION ROAD.
BM# 1	IRON PIN FOUND WITH CAP "SLSS PS 7845", LOCATED AT THE NORTHWEST CORNER OF 2.009 ACRE PARCEL EAST OF THE SITE NORTHING: 211365.16 EASTING: 1797979.44 ELEVATION: 942.39
BM# 2	IRON PIN FOUND WITH CAP "SLSS PS 7845", LOCATED AT THE SOUTHEAST CORNER OF 2.009 ACRE PARCEL EAST OF THE SITE NORTHING: 210885.28 EASTING: 1798127.73 ELEVATION: 942.85

COMMON ACCESS DRIVE PLANS FOR DREAM WEAVER ALIVE CAD

LOCATED IN FARM LOT 13, QUARTER-TOWNSHIP 3, TOWNSHIP 4, RANGE 19 OF THE UNITED STATES MILITARY LANDS, IN LIBERTY TOWNSHIP, DELAWARE COUNTY, OHIO

RPC SKETCH PLAN NUMBER: 24-08-S
RPC PRELIMINARY PLAN: 24-xx
FE PLAN: DEV2024-xxxx



LOCATION MAP
SCALE: NTS

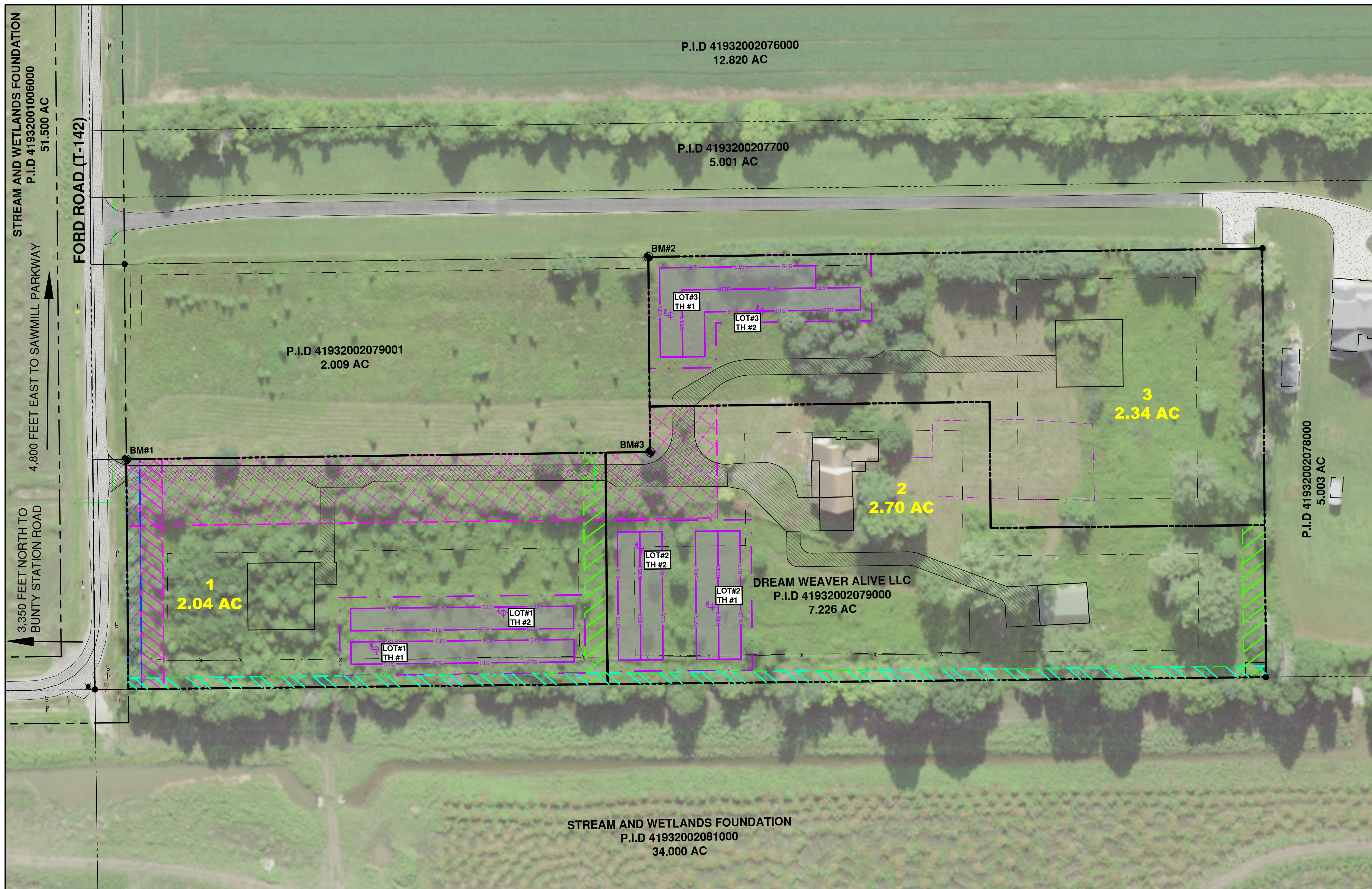
Sheet List Table	
SHEET NUMBER	SHEET TITLE
PP1	TITLE SHEET
PP2	GENERAL NOTES & DETAILS
PP3	EXISTING CONDITIONS
PP4	SITE PLAN
PP5	GRADING PLAN
PP6	SIGHT DISTANCE EXHIBIT

VARIANCES	APPROVAL
N/A	

FLOOD PLAIN
THE DEVELOPMENT IS LOCATED IN ZONE X, A ZONE DESCRIBED AS OUTSIDE OF THE 100 YEAR FLOODPLAIN ON FLOOD INSURANCE RATE MAP, DELAWARE COUNTY, OHIO, MAP NUMBER 39041C0230K, EFFECTIVE DATE APRIL 16, 2009.

LEGEND	
	12' DEL-CO & SIDEWALK EASEMENT
	DRAINAGE EASEMENT
	20' SANITARY EASEMENT
	ONSITE TREATMENT BUFFER
	COMMON ACCESS DRIVE EASEMENT
	ONSITE TREATMENT BUFFER
	10' GENERAL GRADING & UTILITY EASEMENT

OWNERS/DEVELOPERS	
DREAM WEAVER ALIVE LLC CONTACT: GARY CLARK 2189 FORD ROAD, DELAWARE, OH 43015 EMAIL: GECLARK8@GMAIL.COM	
ENGINEER	
GANDEE HEYDINGER GROUP 5676 STATE ROUTE 521, SUITE B DELAWARE, OH 43015 ATTN: AARON HEYDINGER P.E. EMAIL: AHEYDINGER@GHGCIVIL.COM PHONE: (614) 942-6042	



PROJECT INDEX MAP



PLAN PREPARED FOR:

LIBERTY TOWNSHIP, DELAWARE COUNTY, OHIO
DREAM WEAVER ALIVE CAD
PID: 41932002079000
2189 FORD ROAD
PRELIMINARY PLAN
TITLE SHEET

PLAN PREPARED BY:
GHG
GANDEE HEYDINGER GROUP
CIVIL ENGINEERS & SURVEYORS
5676 STATE ROUTE 521, SUITE B
DELAWARE, OH 43015
P: 614.942.6042

NO.	DATE	REVISION DESCRIPTION
A	9/3/2024	INITIAL SUBMITTAL

DATE:	9/3/24
SCALE:	AS SHOWN
DRAWN BY:	JB
CHECKED BY:	AH
PROJECT NUMBER:	24-086-20
DRAWING NUMBER:	PP1
SHEET NUMBER:	1/6

C:\Users\ahaydinger\OneDrive\Documents\Projects\24-086-20-ENG-2189 Ford Road CAD\Production Drawings\RPC-PRELIM PLAN\PP1-Title Sheet.dwg PPI-TITLE SHEET Sep 03, 2024 9:28:07am ahaydinger

DREAM WEAVER ALIVE CAD
LOCATED IN FARM LOT 13, QUARTER-TOWNSHIP 3,
TOWNSHIP 4, RANGE 19 OF THE UNITED STATES MILITARY
LANDS, IN LIBERTY TOWNSHIP, DELAWARE COUNTY, OHIO

GENERAL SUMMARY	
PARCEL	41932002079000
SITE ADDRESS	2189 FORD ROAD
TOTAL AREA	7.226 ACRES
TOTAL RIGHT OF WAY TO BE DEDICATED	0.142 ACRES
TOTAL ACRES - THREE(3) CAD LOTS	7.084 ACRES
GROSS DEVELOPMENT DENSITY	1 DWELLING UNIT / 2.361 ACRES
CAD ACREAGE TO BE DEDICATE	0.786 ACRES
NET AREA	6.298 ACRES
NET DEVELOPMENT DENSITY	1 DWELLING UNIT / 2.099 ACRES
DRIVE AREA	0.234 ACRES
DISTURBED AREA	0.49 ACRES
EXISTING ZONING & USE	FR-1, RESIDENTIAL AND AGRICULTURAL
PROPOSED ZONING & USE	FR-1, CONSTRUCTION OF A 3 LOT COMMON ACCESS DRIVE (CAD) SUBDIVISION
MINIMUM LOT SIZE	1 ACRES
MINIMUM FRONTAGE	150
FRONT YARD SETBACK - FORD	60 FROM CL OF ROAD RIGHT OF WAY
SIDE YARD SETBACK	25 (INCLUDING FROM CAD EASEMENT)
REAR YARD SETBACK	60
PRE-DEVELOPED CURVE NUMBER	77, SMALL GRAIN, STRAIGHT ROW, RESIDENTIAL & AG BUILDING, AND DRIVE
POST-DEVELOPED CURVE NUMBER	77, SMALL GRAIN, STRAIGHT ROW, RESIDENTIAL & AG BUILDING, AND DRIVE

STANDARD DRAWINGS			
THE STANDARD DRAWINGS AND SUPPLEMENTAL SPECIFICATIONS LISTED BELOW SHALL BE CONSIDERED A PART OF THIS PLAN. THE DELAWARE COUNTY ENGINEER'S DESIGN, CONSTRUCTION AND SURVEYING STANDARDS, CURRENT SPECIFICATIONS OF THE CITY OF COLUMBUS & OHIO DEPARTMENT OF TRANSPORTATION, CURRENT EDITION (ENGLISH UNITS), INCLUDING ALL STANDARD DRAWINGS AND SUPPLEMENTAL SPECIFICATION LISTED SHALL GOVERN THESE PLANS.			
DELAWARE COUNTY		DEL-CO WATER	OHIO DEPARTMENT OF TRANSPORTATION (ODOT)
DCED-R100	DCED-S149	D-01	MT-97.10
DCED-R103	DCED-S151	D-02	
DCED-R1441 (3 SHEETS)	DCED-S175	D-04	
DCED-R2202	DCED-S176	D-08	
DCED-S133A & C	DCED-S441 A&B	D-22	
DCED-S139		D-24	
THESE DRAWINGS ARE AVAILABLE AT THE FOLLOWING WEBPAGES: http://www.co.delaware.oh.us/engineer/Development/StdRoadwayDrawings.htm http://www.co.delaware.oh.us/engineer/development/StdSewerDrawings.htm https://delcowater.org/engineering-downloads/			

UTILITY CONTACT LIST		
THE LOCATION OF THE UTILITIES SHOWN ON THE PLANS HAS BEEN OBTAINED THROUGH INFORMATION PROVIDED BY THE UTILITY COMPANIES AND BY FIELD SURVEY. THE FOLLOWING LIST IS OF KNOWN UTILITY COMPANIES WITH FACILITIES WITHIN THE CONSTRUCTION AREA:		
DELAWARE COUNTY ENGINEER CHRIS BAUSERMAN THE BYXBE BUILDING 1610 STATE ROUTE 521 DELAWARE, OHIO 43015 (740) 833-2400	DEL-CO WATER COMPANY, INC. 6658 OLENTANGY RIVER ROAD DELAWARE, OHIO 43015 (740) 548-7746 (EXT. 2403)	COLUMBIA GAS OF OHIO MATT COYNE 3550 JOHNNY APPLESEED CT. COLUMBUS, OH 43231 (614) 818-2107
DELAWARE COUNTY DRAINAGE KURT SIMMONS THE BYXBE BUILDING 1610 STATE ROUTE 521 DELAWARE, OHIO 43015 (740) 833-2400	CONSOLIDATED COOPERATIVE 4993 STATE ROUTE 521 DELAWARE, OH 43015 (740) 363-2641	SUBURBAN NATURAL GAS 2626 LEWIS CENTER ROAD LEWIS CENTER, OH 43035 ATTENTION: SAM REDA (740) 548-2450
DELAWARE COUNTY SOIL & WATER THE BYXBE BUILDING 1610 STATE ROUTE 521 DELAWARE, OHIO 43015 (740) 368-1921	AMERICAN ELECTRIC POWER 850 TECH CENTER DRIVE GAHANNA, OHIO 43230 ATTENTION: RICK ECKLE (614) 883-6829	CHARTER COMMUNICATIONS 1266 DUBLIN ROAD COLUMBUS, OHIO 43215 (614) 481-5262
DELAWARE COUNTY SANITARY ENGINEER TIFFANY MAAG, P.E. THE BYXBE BUILDING 1610 STATE ROUTE 521 DELAWARE, OHIO 43015 (740) 833-2240	EMBARQ 441 WEST BROAD STREET PATASKALA, OH 43062 (740) 927-8282	FRONTIER COMMUNICATIONS 550 LEADER STREET MARION, OH 43302 (740) 383-0575

GENERAL DEVELOPMENT NOTES

ALL LOTS SHALL TAKE ACCESS FROM THE DREAM WEAVER ALIVE CAD AND NOT FROM FORD ROAD.

THE EARTHWORK CONTRACTOR SHALL COMPLY WITH THE "DELAWARE COUNTY URBAN SEDIMENT POLLUTION AND WATER RUN-OFF CONTROL REGULATIONS" AS ADOPTED BY THE COUNTY COMMISSIONERS.

APPROVAL OF THIS PLAT BY THE DELAWARE COUNTY REGIONAL PLANNING COMMISSION, THE DELAWARE COUNTY COMMISSIONERS AND/OR ANY OTHER GOVERNMENTAL AUTHORITY SHALL IN NO WAY CONSTITUTE A DEDICATION OR ACCEPTANCE OF THE COMMON ACCESS DRIVE SHOWN THEREON, AND ALL SUCH COMMON ACCESS DRIVE(S) SHALL BE AND REMAIN A PRIVATE ACCESS WAY, AND THE DELAWARE COUNTY REGIONAL PLANNING COMMISSION, THE DELAWARE COUNTY COMMISSIONERS AND EVERY OTHER PUBLIC AUTHORITY SIGNING THIS PLAT SHALL HAVE NO RESPONSIBILITY OR LIABILITY FOR OR ARISING OUT OF THE CONSTRUCTION, IMPROVEMENT, MAINTENANCE AND/OR USE OF ANY SUCH COMMON ACCESS DRIVE. THE OWNERS OF THESE LOTS AND THEIR SUCCESSORS AND ASSIGNS AGREE TO AND SHALL BE BOUND BY THE FOREGOING PROVISION, WHICH PROVISION SHALL BE DEEMED TO BE AND IS A COVENANT RUNNING WITH THE LAND

A NON-EXCLUSIVE EASEMENT IS HEREBY SPECIFICALLY GRANTED UNTO DEL-CO WATER COMPANY, INC., ITS SUCCESSORS AND ASSIGNS, FOR THE LOCATION OF WATER LINES, VALVES, AND APPURTENANCES WITHIN THE RIGHTS-OF-WAY HEREBY DEDICATED AND WITHIN AREAS DESIGNATED HEREON AS "UTILITY EASEMENT" OR "DRAINAGE EASEMENT" THAT ARE LOCATED ALONGSIDE THE RIGHTS-OF-WAY HEREBY DEDICATED. ALSO GRANTED IS THE RIGHT OF DEL-CO WATER COMPANY, INC. TO INSTALL, SERVICE, AND MAINTAIN WATER METER CROCKS AND APPURTENANCES IN SAID EASEMENT AREAS ALONGSIDE SAID RIGHTS-OF-WAY. THE EASEMENT AREA SHALL BE FOR THE UNOBSTRUCTED USE OF DEL-CO WATER COMPANY, INC. PLACEMENT OF FENCES, WALLS, PILLARS, TREES, GARDENS, SHRUBBERIES, AND OTHER SURFACE FEATURES IS STRICTLY PROHIBITED.

EASEMENTS ARE RESERVED FOR THE CONSTRUCTION, OPERATION AND MAINTENANCE OF ALL PUBLIC AND PRIVATE UTILITIES PROPOSED ABOVE AND BENEATH THE SURFACE OF THE GROUND, AND WHERE NECESSARY, ARE FOR THE CONSTRUCTION, OPERATION AND MAINTENANCE OF SERVICE CONNECTIONS TO ALL LOTS AND LANDS, AND FOR STORM WATER DRAINAGE.

EASEMENTS DESIGNATED AS "SANITARY EASEMENT" SHALL MEAN A PERPETUAL, EXCLUSIVE SANITARY EASEMENT OVER, THROUGH, UNDER, WITHIN, UPON, AND ACROSS THE AREA HEREIN DELINEATED, TOGETHER WITH INGRESS AND EGRESS OVER REASONABLE ROUTES ACROSS GRANITOR'S TRACTS THAT ADJOIN THE EASEMENT AREA WHEN EXERCISING THE PURPOSES OF THIS EASEMENT, SOLELY FOR CONSTRUCTION, OPERATION AND MAINTENANCE OF PUBLIC AND OR PRIVATE SANITARY SEWERS, SANITARY SEWER SERVICE CONNECTIONS, SANITARY FORCE MAINS, SANITARY MANHOLES, SANITARY VALVES, AND OTHER SANITARY APPURTENANCES.

NO OTHER UTILITY SHALL BE LOCATED WITHIN THE SANITARY EASEMENT EXCEPT FOR CROSSINGS AS DESCRIBED HEREIN; RIGHT ANGLE OR NEAR RIGHT ANGLE UTILITY CROSSINGS ("NEAR RIGHT ANGLE" IS DEFINED AS AN ANGLE BETWEEN EIGHTY (80) DEGREES AND ONE-HUNDRED (100) DEGREES) OVER, ACROSS, OR UNDER THE SANITARY LINE AND OVER, ACROSS, UNDER, OR THROUGH THIS SANITARY EASEMENT ARE NOT RESTRICTED, EXCEPT THAT ALL UTILITY CROSSINGS UNDER THE SANITARY SEWER OR FORCE MAIN SHALL BE SUBJECT TO THE REVIEW AND APPROVAL OF THE DELAWARE COUNTY SANITARY ENGINEER; ANY UTILITY CROSSING WITHIN THE SANITARY EASEMENT RESULTING IN AN ANGLE LESS THAN 80 DEGREES SHALL ONLY BE PERMITTED IF APPROVED IN WRITING BY THE DELAWARE COUNTY SANITARY ENGINEER.

ZONING

ZONING HANDLED BY BROWN TOWNSHIP. CURRENT SETBACKS ARE SHOWN TO DEMONSTRATE COMPLIANCE WITH THE CURRENT ZONING CODE (EFFECTIVE DATE: JUNE 2023) . ALL CONSTRUCTION MUST BE COMPLIANT WITH THE CURRENT ZONING AT THAT TIME.

DRAINAGE AND ACCESS

BE ADVISED: A SUBSURFACE DRAINAGE SYSTEM MAY EXIST ON THIS SITE. THE SYSTEM AND/OR OUTLET IF LOCATED ON THE PROPERTY MUST BE MAINTAINED AT ALL TIMES.

SEE PRELIMINARY SURFACE WATER ASSESSMENT BY CENTRAL OHIO WETLANDS CONSULTING, LLC, MAY 17, 2024.

UTILITIES STATEMENT

THE UTILITIES SHOWN HEREON HAVE BEEN LOCATED FROM FIELD SURVEY INFORMATION AND EXISTING DRAWINGS. THE SURVEYOR AND OR ENGINEER MAKES NO GUARANTEE THAT THE UTILITIES SHOWN COMPRIMISE ALL SUCH UTILITIES IN THE AREA, EITHER IN SERVICE OR ABANDONED. THE SURVEYOR AND OR ENGINEER FURTHER DOES NOT WARRANT THAT THE UTILITIES SHOWN HERE IN THE EXACT LOCATION INDICATED ALTHOUGH WE CERTIFY THAT THEY AREA LOCATED AS ACCURATELY AS POSSIBLE.

WATER LINES SHALL BE NSF 61 APPROVED, AND COMPLIANT WITH ASTM D2241 & OHIO EPA ENG-08-002 STANDARDS.
 - 2-INCH WATER LINE PIPE: CLASS 200 SDR 21 PVC (YELOMINE PVC-RESTRAINED JOINT).

LOTS SHALL BE GRADED SO AS TO DRAIN SURFACE WATER AWAY FROM FOUNDATION WALLS. THE GRADE AWAY FROM FOUNDATION WALLS SHALL FALL A MINIMUM OF 6" WITHIN THE FIRST 10' (STATE OF OHIO BUILDING CODE).

GOOD EROSION CONTROL PRACTICES SHALL BE USED DURING CONSTRUCTION OF HOMES ON THE LOTS.

OBTAIN A DESC PERMIT AS REQUIRED BY THE DELAWARE COUNTY ENGINEER.

NOTICE IS HEREBY GIVEN TO ANY BUYER OF THE LOTS DELINEATED UPON THIS PLAT, THAT ON FILE WITH THE DELAWARE COUNTY REGIONAL PLANNING COMMISSION, AND HEALTH DEPARTMENT ARE SITE IMPROVEMENT PLANS FOR THE DEVELOPMENT OF SAID LOTS SHOWING FINISH GRADE ELEVATIONS, SEWAGE TREATMENT SYSTEM LOCATIONS, AND BUILDING ENVELOPES.

NO KNOWN CEMETERIES, HISTORICAL SITES, OR ARCHEOLOGICAL SITES.

THE EARTHWORK CONTRACTOR SHALL COMPLY WITH THE OHIO EPA LAND DEVELOPMENT MANUAL, AND MARION COUNTY SUBDIVISION REGULATIONS.

BOUNDARY / TOPOGRAPHY

AS PART OF THIS WORK IRON PINS WILL BE SET AT THE PROPERTY CORNERS.

SUBJECT TO ALL LEGAL EASEMENTS AND RIGHTS-OF-WAY.

ENVIRONMENTAL HEALTH / SEPTIC DESIGN

PRIOR TO PERMIT APPROVAL, A SEWAGE TREATMENT SYSTEM DESIGN PLAN WILL NEED TO BE SUBMITTED AND APPROVED BY DELAWARE PUBLIC HEALTH (DPH).

PRIOR TO PREPARATION OF BUILDING PLANS AND/OR DETAILED SITE PLANS, EACH LOT OWNER MUST COORDINATE WITH THE DELAWARE COUNTY HEALTH DEPARTMENT TO DETERMINE THAT THE APPROVED ON-SITE SEWAGE TREATMENT SYSTEM LOCATION IS CONSISTENT WITH OR COMPATIBLE WITH THE OWNER'S DESIRED SITE PLAN.

THE PROPOSED SEWAGE TREATMENT SYSTEM (STS) AREA(S) COMPLIES WITH (OAC) 3701-29 OF OHIO ADMINISTRATIVE CODE. UNLESS OTHERWISE NOTED, ALL STS HAVE BEEN EVALUATED AS A SEPTIC TANK WITH AERATOR TO MOUND SYSTEM DESIGN. ALTERNATIVE DESIGNS MAY BE FEASIBLE AS DEEMED APPROPRIATE BY THE DESIGNER AND/OR DPH. DESIGNER PLAN FOR SEPTIC SYSTEM MUST BE APPROVED BY DPH. DRIVEWAY AND UTILITY LOCATIONS THROUGH LOT(S) ARE NOT TO BE RUN OVER PROPOSED SEWAGE TREATMENT AREAS (PRIMARY OR SECONDARY) UNLESS ALTERNATIVE AREAS ARE APPROVED BY THE DCHD. TREE FALLING WITHIN THE STS AREA(S) MUST BE CLEAR-CUT BEFORE INSTALLATION.

PRIOR TO ANY ADDITIONAL BUILDINGS ON THE SITE, THE OWNER MUST COORDINATE WITH DELAWARE PUBLIC HEALTH TO DETERMINE THAT THE APPROVED ON-SITE STS AREA (PRIMARY AND SECONDARY) ARE COMPATIBLE WITH THE OWNERS DESIRED CONSTRUCTION AND EXCAVATION PLANS. DEPENDING ON FINAL HOUSE AND PLUMBING ELEVATIONS, PUMPS MAY BE REQUIRED FOR DELIVERING SEWAGE EFFLUENT TO STS AREAS. IF PROPOSED STS DISCHARGES OFF THE PROPERTY AN EASEMENT SHALL BE OBTAINED TO POINT OF DISCHARGE.

COMPLETE SOILS REPORT ON FILE WITH DELAWARE PUBLIC HEALTH (DPH). REPORT COMPLETED BY SOIL SCIENTIST, STEVE MILLER ON MAY 16, 2024.

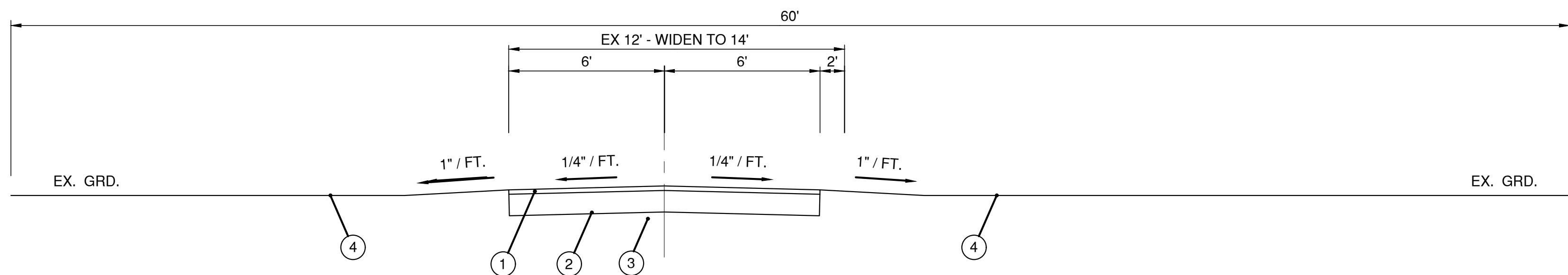
LIFT PUMP WITH AUDIBLE/VISIBLE ALARM MAY BE REQUIRED FOR SEWAGE EFFLUENT DISTRIBUTION.

CLEAR-CUTTING MAY BE REQUIRED FOR STS IN WOODED AREAS.

ROOF DRAINS, FOUNDATION DRAINS AND OTHER CLEAN WATER CONNECTIONS TO THE SANITARY SEWER SYSTEM ARE PROHIBITED.

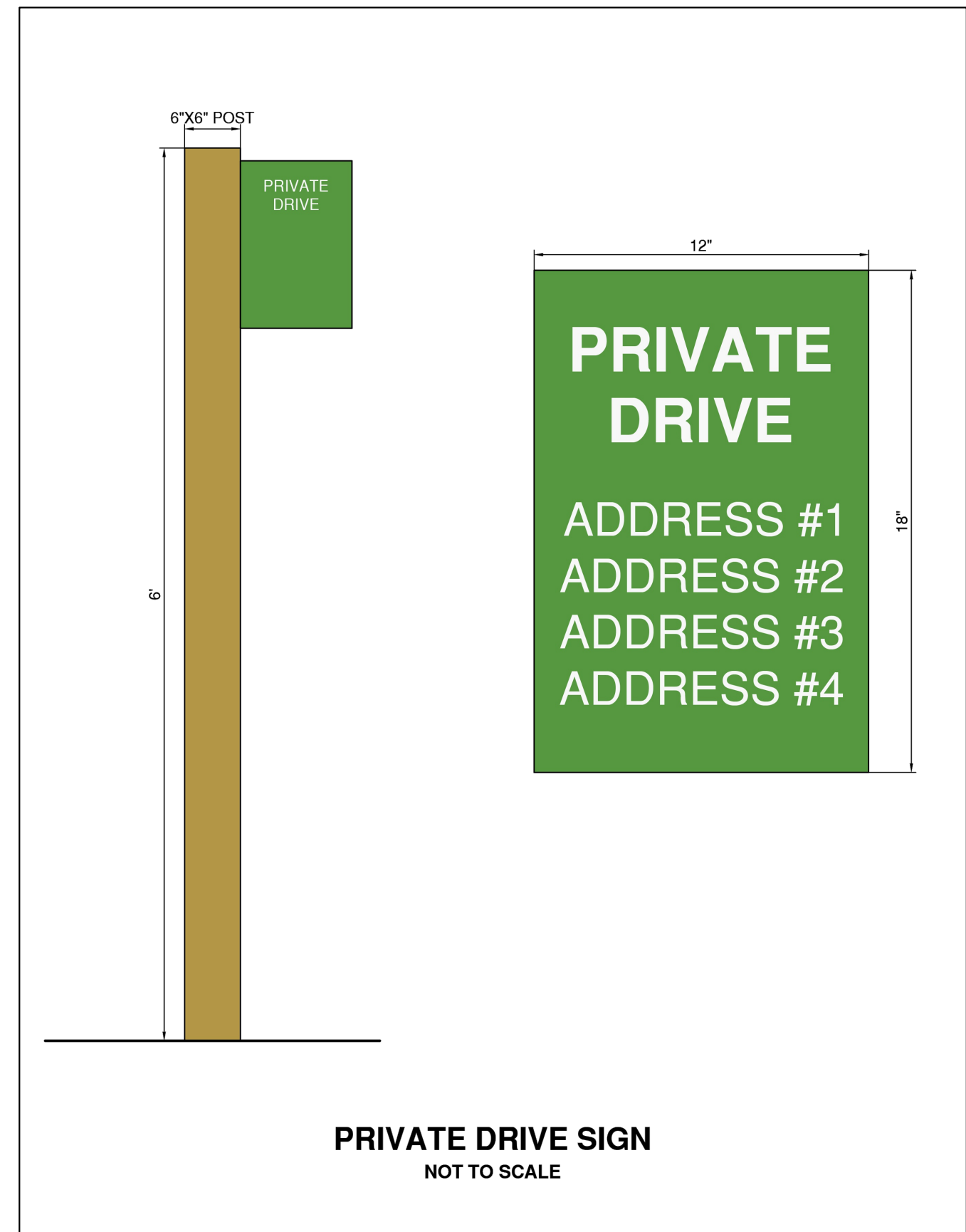
THE OWNERS, THEIR SUCCESSORS, HEIRS OR ASSIGNS OF THE HEREIN DELINEATED LOT AGREE THAT WHEN A CENTRAL SEWAGE SYSTEM BECOMES AVAILABLE, SAID LOT(S) SHALL BE CONNECTED TO SAID CENTRAL SEWER. ACCEPTANCE OF TITLE TO A DELINEATED LOT SHALL CONSTITUTE WAIVER OF FURTHER NOTICE OF HEARING ON THIS REQUIREMENT. THIS COVENANT SHALL BE INCLUDED TO TITLE FOR SAID LOT(S). ALL FEES AND COSTS ASSOCIATED WITH THE CONNECTION TO THE CENTRAL SEWER ARE THE RESPONSIBILITY OF THE HOMEOWNER AT THE TIME OF INSTALLATION AND CONNECTION.

NO BUILDINGS, SHEDS, DECKS, POOLS, OR OTHER SUCH STRUCTURES, OR THE FOOTERS OR FOUNDATIONS OF ANY STRUCTURES OR FEATURES SHALL BE CONSTRUCTED ABOVE OR BELOW GROUND WITHIN THE LIMITS OF THE SANITARY EASEMENT UNLESS SAID STRUCTURE IS APPROVED IN WRITING BY THE DELAWARE COUNTY SANITARY ENGINEER; ANY LANDSCAPING FEATURES, SUCH AS, BUT NOT LIMITED TO, TREES, FENCES, SIGNS, RETAINING WALLS, ETC., WITHIN THE SANITARY EASEMENT AREA SHALL BE REVIEWED FOR APPROVAL BY THE DELAWARE COUNTY SANITARY ENGINEER PRIOR TO INSTALLATION; ANY LANDSCAPING FEATURES PLACED WITHIN THE SANITARY EASEMENT MAY BE REMOVED AT ANY TIME BY THE DELAWARE COUNTY SANITARY ENGINEER OR HIS/HER REPRESENTATIVES; THE COST OF RESTORATION SHALL BE THE RESPONSIBILITY OF THE GRANTOR, OR, UPON CONVEYANCE BY THE GRANTOR, BY THE GRANTOR'S SUCCESSORS AND ASSIGNS.



- ① 2" ~ ITEM 304 AGGREGATE BASE (CAD DRIVE)
- ② 10" ~ EXISTING AGGREGATE BASE
- ③ ITEM 203, COMPACTED SUBBASE
- ④ ITEM 659, SEEDING & MULCHING

EXISTING DRIVE CROSS SECTION IMPROVEMENTS TO COMMON ACCESS DRIVE
 TYPICAL SECTION
 SCALE: NONE



PLAN PREPARED FOR:

PLAN PREPARED BY:

GANDEE HEYDINGER GROUP
 CIVIL ENGINEERS & SURVEYORS
 5676 STATE ROUTE 921, SUITE B
 DELAWARE, OH 43015
 P: 614.942.6042

LIBERTY TOWNSHIP, DELAWARE COUNTY, OHIO
DREAM WEAVER ALIVE CAD
 PID: 41932002079000
 2189 FORD ROAD
PRELIMINARY PLAN

GENERAL NOTES & DETAILS

REVISION DESCRIPTION
 INITIAL SUBMITTAL

DATE
 9/3/2024

NO.
 A

DATE: 9/3/24
 SCALE: AS SHOWN

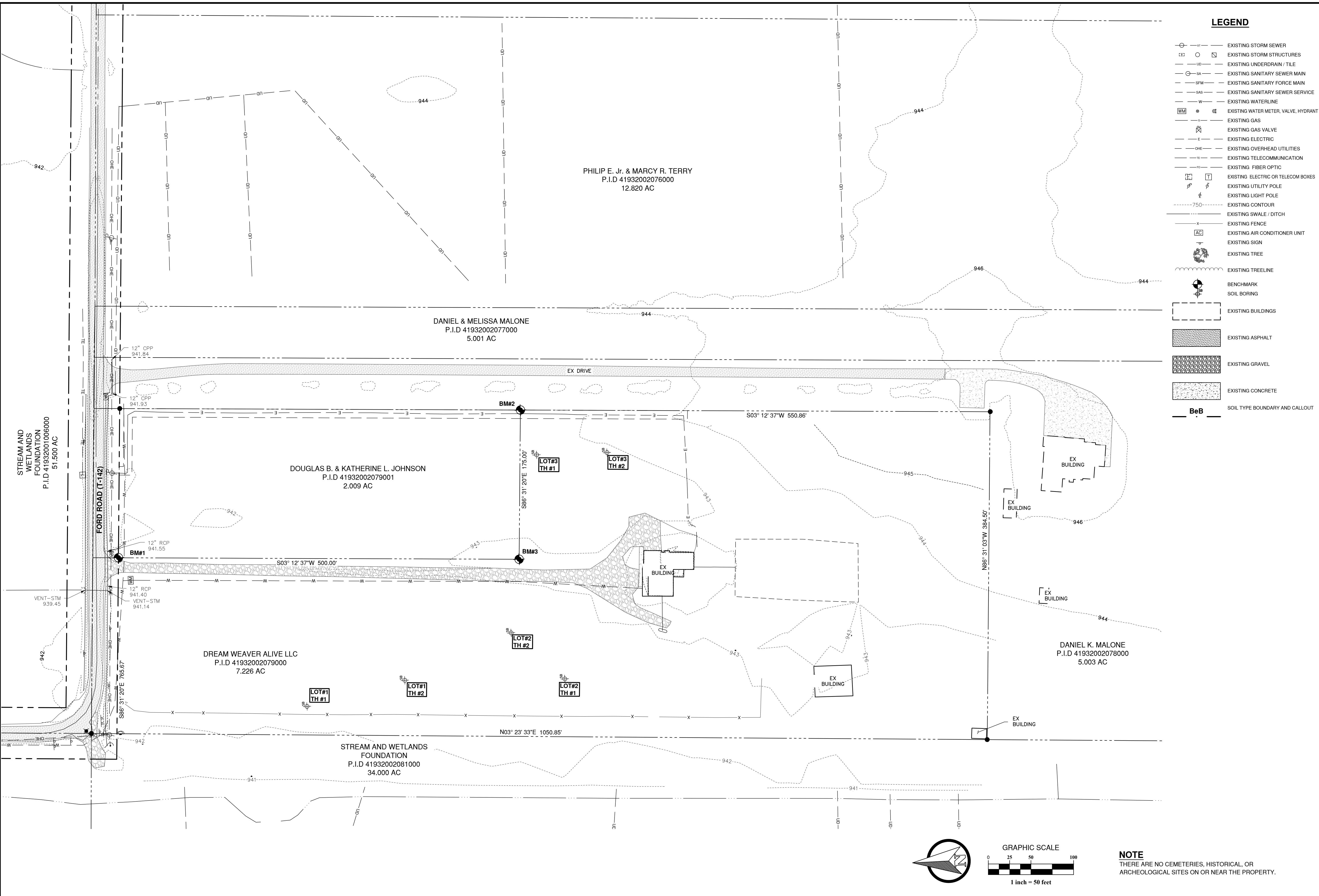
DRAWN BY: JB
 CHECKED BY: AH

PROJECT NUMBER
 24-086-20

DRAWING NUMBER
PP2

SHEET NUMBER
2 / 6

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LEGEND

- EXISTING STORM SEWER
- EXISTING STORM STRUCTURES
- EXISTING UNDERDRAIN / TILE
- EXISTING SANITARY SEWER MAIN
- EXISTING SANITARY FORCE MAIN
- EXISTING SANITARY SEWER SERVICE
- EXISTING WATERLINE
- EXISTING WATER METER, VALVE, HYDRANT
- EXISTING GAS
- EXISTING GAS VALVE
- EXISTING ELECTRIC
- EXISTING OVERHEAD UTILITIES
- EXISTING TELECOMMUNICATION
- EXISTING FIBER OPTIC
- EXISTING ELECTRIC OR TELECOM BOXES
- EXISTING UTILITY POLE
- EXISTING LIGHT POLE
- EXISTING CONTOUR
- EXISTING SWALE / DITCH
- EXISTING FENCE
- EXISTING AIR CONDITIONER UNIT
- EXISTING SIGN
- EXISTING TREE
- EXISTING TREELINE
- BENCHMARK
- SOIL BORING
- EXISTING BUILDINGS
- EXISTING ASPHALT
- EXISTING GRAVEL
- EXISTING CONCRETE
- SOIL TYPE BOUNDARY AND CALLOUT

PLAN PREPARED FOR:

LIBERTY TOWNSHIP, DELAWARE COUNTY, OHIO
DREAM WEAVER ALIVE CAD
 PID: 41932002079000
 2189 FORD ROAD
PRELIMINARY PLAN

EXISTING CONDITIONS

NO.	DATE	REVISION DESCRIPTION
A	9/3/2024	INITIAL SUBMITTAL

DATE: 9/3/24
 SCALE: AS SHOWN

DRAWN BY: JB
 CHECKED BY: AH

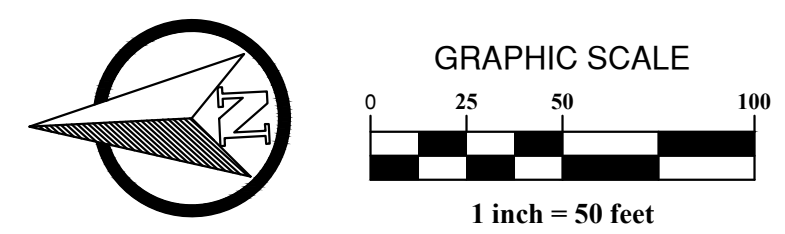
PROJECT NUMBER: 24-086-20

DRAWING NUMBER: **PP3**

SHEET NUMBER: **3 / 6**

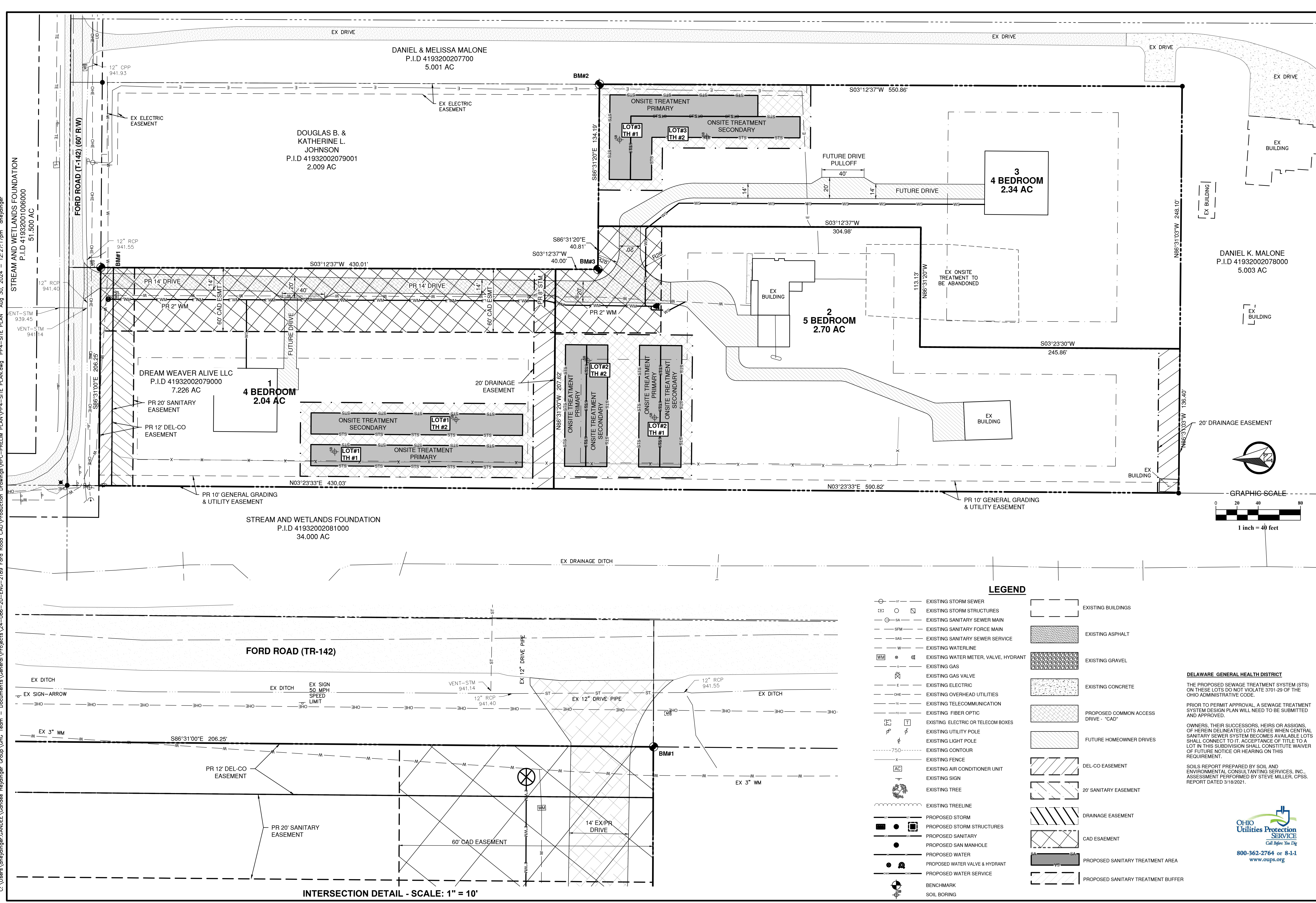
PLAN PREPARED BY:

GHD
CANDEE HEYDINGER GROUP
 CIVIL ENGINEERS & SURVEYORS
 5676 STATE ROUTE 921, SUITE B
 DELAWARE, OH 43015
 P: 614.942.6042



NOTE
 THERE ARE NO CEMETERIES, HISTORICAL, OR ARCHEOLOGICAL SITES ON OR NEAR THE PROPERTY.

C:\Users\mheidyng\OneDrive\Documents\Projects\24-086-20-ENG-2189 Ford Road CAD\Production Drawings\RPC-PRELIM PLAN\PP-4-SITE PLAN.dwg PPA-SITE PLAN Aug 30, 2024 - 12:27:17pm mheidyng



STREAM AND WETLANDS FOUNDATION P.I.D 41932001006000 51.500 AC

DANIEL & MELISSA MALONE P.I.D 4193200207700 5.001 AC

DOUGLAS B. & KATHERINE L. JOHNSON P.I.D 41932002079001 2.009 AC

DREAM WEAVER ALIVE LLC P.I.D 41932002079000 7.226 AC

STREAM AND WETLANDS FOUNDATION P.I.D 41932002081000 34.000 AC

DANIEL K. MALONE P.I.D 41932002078000 5.003 AC

LIBERTY TOWNSHIP, DELAWARE COUNTY, OHIO
 DREAM WEAVER ALIVE CAD
 PID: 41932002079000
 2189 FORD ROAD
 PRELIMINARY PLAN
SITE PLAN

PLAN PREPARED FOR:
 CANDEE HEYDINGER GROUP
 CIVIL ENGINEERS & SURVEYORS
 5676 STATE ROUTE 921, SUITE B
 DELAWARE, OH 43015
 P: 614.942.6042

REVISION DESCRIPTION
 INITIAL SUBMITTAL

NO.	DATE	REVISION DESCRIPTION
A	9/3/2024	

DATE: 9/3/24
 SCALE: AS SHOWN
 DRAWN BY: JB
 CHECKED BY: AH
 PROJECT NUMBER: 24-086-20
 DRAWING NUMBER: PP4
 SHEET NUMBER: 4/6

LEGEND

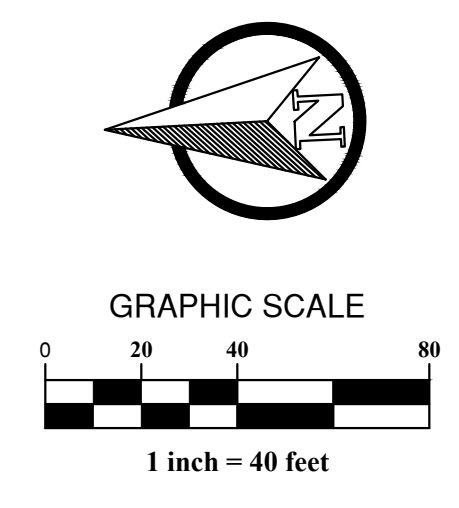
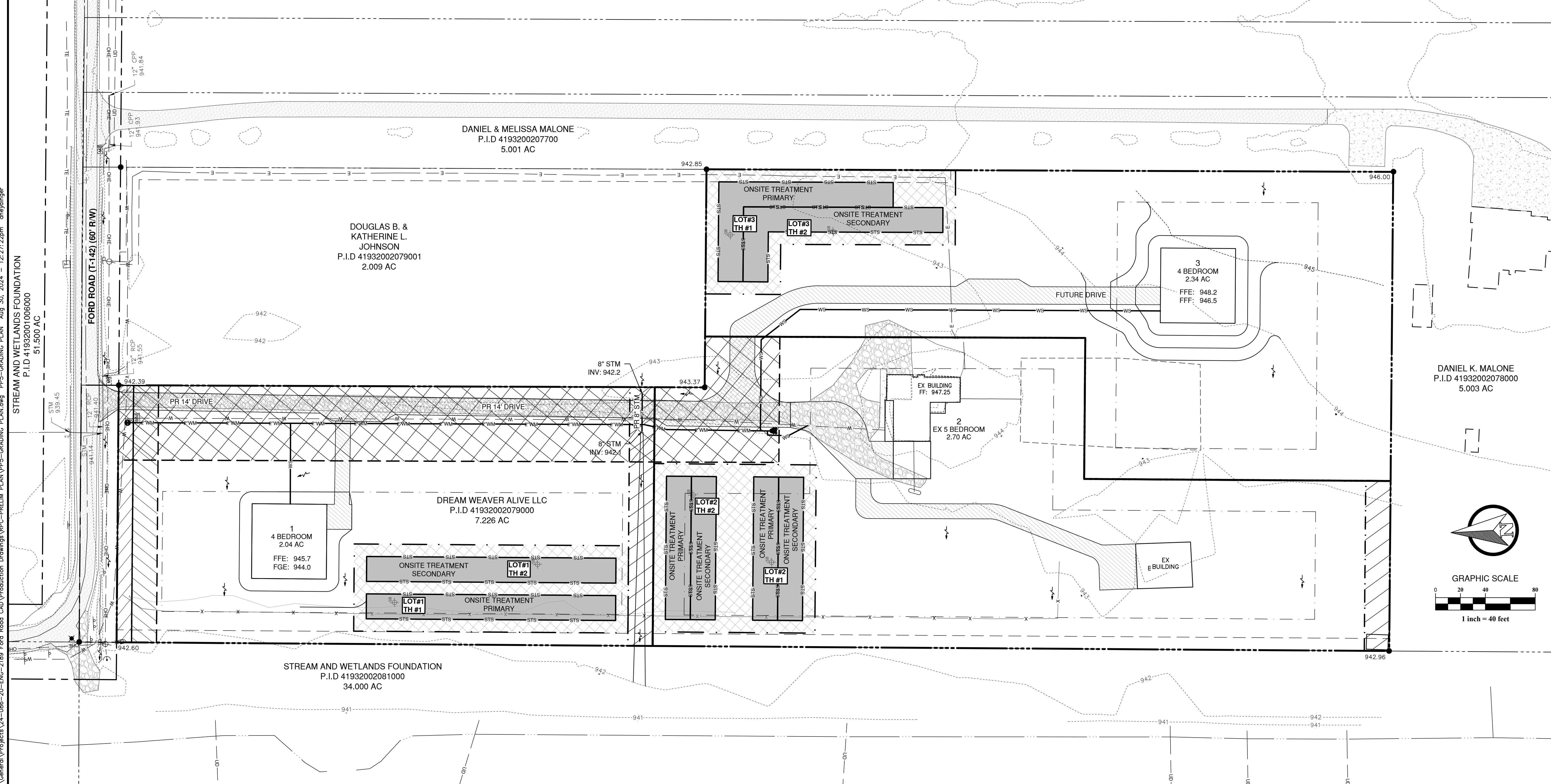
	EXISTING STORM SEWER		EXISTING BUILDINGS
	EXISTING STORM STRUCTURES		EXISTING ASPHALT
	EXISTING SANITARY SEWER MAIN		EXISTING GRAVEL
	EXISTING SANITARY FORCE MAIN		EXISTING CONCRETE
	EXISTING SANITARY SEWER SERVICE		PROPOSED COMMON ACCESS DRIVE - "CAD"
	EXISTING WATERLINE		FUTURE HOMEOWNER DRIVES
	EXISTING WATER METER, VALVE, HYDRANT		DEL-CO EASEMENT
	EXISTING GAS		20' SANITARY EASEMENT
	EXISTING GAS VALVE		DRAINAGE EASEMENT
	EXISTING ELECTRIC		CAD EASEMENT
	EXISTING OVERHEAD UTILITIES		PROPOSED SANITARY TREATMENT AREA
	EXISTING TELECOMMUNICATION		PROPOSED SANITARY TREATMENT BUFFER
	EXISTING FIBER OPTIC		
	EXISTING ELECTRIC OR TELECOM BOXES		
	EXISTING UTILITY POLE		
	EXISTING LIGHT POLE		
	EXISTING CONTOUR		
	EXISTING FENCE		
	EXISTING AIR CONDITIONER UNIT		
	EXISTING SIGN		
	EXISTING TREE		
	EXISTING TREELINE		
	PROPOSED STORM		
	PROPOSED STORM STRUCTURES		
	PROPOSED SANITARY		
	PROPOSED SAN MANHOLE		
	PROPOSED WATER		
	PROPOSED WATER VALVE & HYDRANT		
	PROPOSED WATER SERVICE		
	BENCHMARK		
	SOIL BORING		

DELAWARE GENERAL HEALTH DISTRICT
 THE PROPOSED SEWAGE TREATMENT SYSTEM (STS) ON THESE LOTS DO NOT VIOLATE 3701-29 OF THE OHIO ADMINISTRATIVE CODE.
 PRIOR TO PERMIT APPROVAL, A SEWAGE TREATMENT SYSTEM DESIGN PLAN WILL NEED TO BE SUBMITTED AND APPROVED.
 OWNERS, THEIR SUCCESSORS, HEIRS OR ASSIGNS, OF HEREIN DELINEATED LOTS AGREE WHEN CENTRAL SANITARY SEWER SYSTEM BECOMES AVAILABLE LOTS SHALL CONNECT TO IT. ACCEPTANCE OF TITLE TO A LOT IN THIS SUBDIVISION SHALL CONSTITUTE WAIVER OF FUTURE NOTICE OR HEARING ON THIS REQUIREMENT.
 SOILS REPORT PREPARED BY SOIL AND ENVIRONMENTAL CONSULTANT SERVICES, INC., ASSESSMENT PERFORMED BY STEVE MILLER, CPSS. REPORT DATED 3/18/2021.

OHIO Utilities Protection SERVICE
 Call Before You Dig
 800-362-2764 or 8-1-1
 www.oups.org

INTERSECTION DETAIL - SCALE: 1" = 10'

C:\Users\mheydingr\OneDrive - GHD Group\OneDrive - GHD Group\Documents\General\Projects\24-086-20-ENG-2189 Ford Road CAD\Production Drawings\PP5-GRADING PLAN PP5-GRADING PLAN Aug 30, 2024 - 12:27:22pm dheydingr



LEGEND	
	FLOW ARROWS
	MAJOR FLOOD ROUTING
	EXISTING STORM SEWER
	EXISTING STORM STRUCTURES
	EXISTING SANITARY SEWER MAIN
	EXISTING SANITARY FORCE MAIN
	EXISTING SANITARY SEWER SERVICE
	EXISTING WATERLINE
	EXISTING WATER METER, VALVE, HYDRANT
	EXISTING GAS
	EXISTING GAS VALVE
	EXISTING ELECTRIC
	EXISTING OVERHEAD UTILITIES
	EXISTING TELECOMMUNICATION
	EXISTING FIBER OPTIC
	EXISTING ELECTRIC OR TELECOM BOXES
	EXISTING UTILITY POLE
	EXISTING LIGHT POLE
	EXISTING CONTOUR
	EXISTING FENCE
	EXISTING AIR CONDITIONER UNIT
	EXISTING SIGN
	EXISTING TREE
	EXISTING TREELINE
	PROPOSED NATURE TRAIL
	PROPOSED CONTOUR
	EXISTING ELEVATION
	PROPOSED ELEVATION
	PROPOSED STORM
	PROPOSED STORM STRUCTURES
	PROPOSED SANITARY
	PROPOSED SAN MANHOLE
	PROPOSED WATER
	PROPOSED WATER VALVE & HYDRANT
	PROPOSED WATER SERVICE
	BENCHMARK
	SOIL BORING
	EXISTING BUILDINGS
	PROPOSED SIDEWALK
	COMMON ACCESS DRIVE
	DEL-CO EASEMENT
	20' SANITARY EASEMENT
	DRAINAGE EASEMENT
	PROPOSED SANITARY TREATMENT AREA
	PROPOSED SANITARY TREATMENT BUFFER

PLAN PREPARED FOR:

LIBERTY TOWNSHIP, DELAWARE COUNTY, OHIO
DREAM WEAVER ALIVE CAD
 PID: 41932002079000
 2189 FORD ROAD
PRELIMINARY PLAN
GRADING PLAN

PLAN PREPARED BY:
GHD
CANDEE HEYDINGER GROUP
 CIVIL ENGINEERS & SURVEYORS
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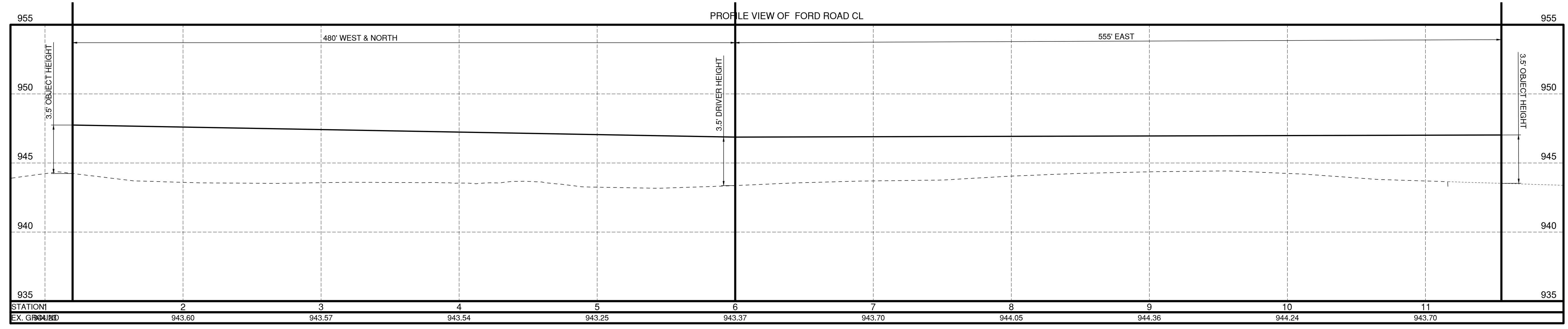
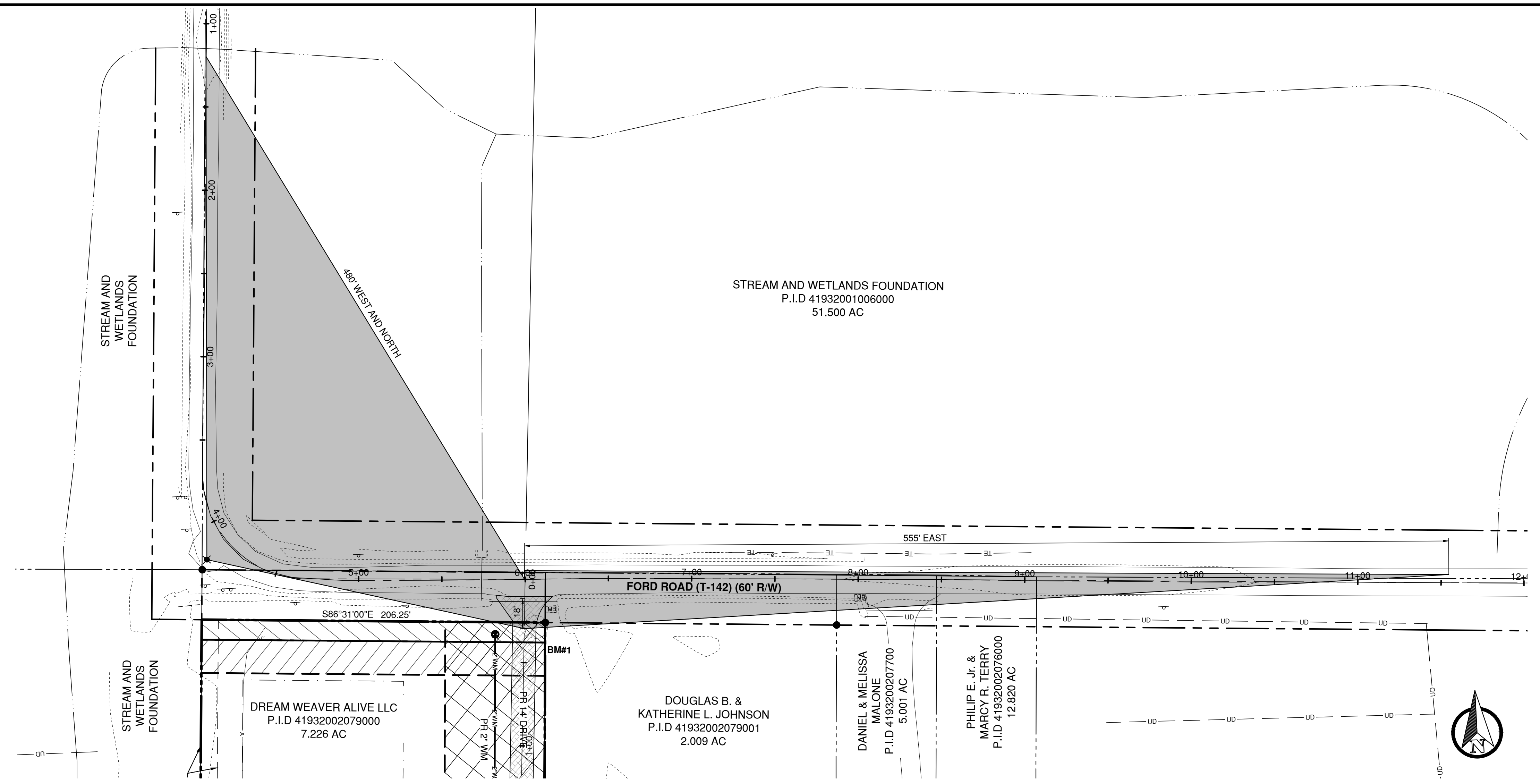
DRAWN BY: JB
 CHECKED BY: AH

PROJECT NUMBER: 24-086-20

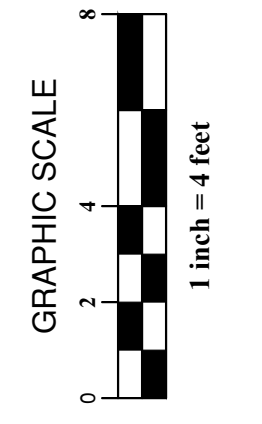
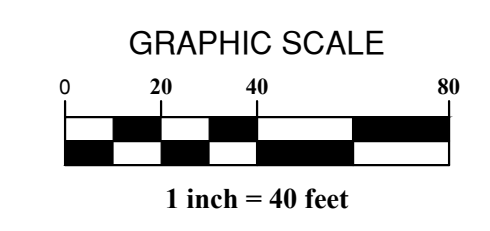
DRAWING NUMBER: **PP5**

SHEET NUMBER: **5/6**

C:\Users\ahaydinger\OneDrive\Documents\Candee Heydinger Group\GKG Team - Documents\General\Projects\24-086-20-ENG-2189 Ford Road CAD\Production Drawings\PP6-PRELIM PLAN\PP6-SIGHT DISTANCE.dwg CS Aug 30, 2024 12:27:26pm ahaydinger



INTERSECTION SIGHT DISTANCE NOTES:			
ROADWAY:	FORD ROAD, TR-142	STOPPING SIGHT DISTANCE (SSD) PER (ODOT 201-1E)	
FUNCTIONAL CLASS:	TOWNSHIP - LOCAL ROAD	DESIGN SPEED	50 MPH
ACCESS MGMT:	IV	SSD	425'
SPEED LIMIT:	50 MPH		
EXISTING LANES:	2	INTERSECTION SIGHT DISTANCE (ISD) PER (ODOT 201-4E & 5E)	
PROPOSED LANES:	2	ISD (FOR RIGHT TURN LANE)	480'
RIGHT OF WAY:	60'	ISD (FOR LEFT TURN LANE)	555'



PLAN PREPARED FOR:

LIBERTY TOWNSHIP, DELAWARE COUNTY, OHIO
DREAM WEAVER ALIVE CAD
 PID: 41932002079000
 2189 FORD ROAD
FINAL ENGINEERING
SIGHT DISTANCE

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DATE: 9/3/24
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DRAWN BY	CHECKED BY
JB	AH

PROJECT NUMBER
24-086-20

DRAWING NUMBER
PP6

SHEET NUMBER
6 / 6

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