



Final Subdivision Plat Application

Delaware County, Ohio

(for unincorporated areas only)

RPC Number 01-22

Sec. _____ Ph. _____ Pt. _____

FINAL PLATS CANNOT BE SUBMITTED UNLESS A DRAFT VERSION HAS BEEN REVIEWED BY DCRPC and other AGENCIES

PROJECT	The Ravines at Hoover	(circle one) Residential Commercial
TOWNSHIP	Genoa	


APPLICANT/ CONTACT	Name Alex Benson	Phone 614-942-3036
	Address 2800 Corporate Exchange Dr. Suite 400	E-mail alex.benson@cesoinc.com
	City, State, Zip Columbus, Ohio	

PROPERTY OWNER	Name Ravines at Hoover LLC	Phone 614-891-2042
	Address 148 W Shrock Road	E-mail johlin@rh-homes.com
	City, State, Zip Westerville, Ohio 43081	

SURVEYOR/ ENGINEER	Name Alex Benson	Phone 614-942-3036
	Address 2800 Corporate Exchange Dr. Suite 400	E-mail alex.benson@cesoinc.com
	City, State, Zip Columbus, Ohio	

DETAILS	Total Lots 58	Buildable lots 56
	Total Acreage 42.804	Open Space Acreage 24.542

SUBMISSION REQUIREMENTS (Sub. Regs. Section 205.01)	Date the Preliminary Plan was approved by RPC (required): <u>3/31/2022</u>
	Date of Draft Plat Review by RPC staff (required): <u>6/28/2022</u>
	Date of Final Engineering Approval by DCEO (required): <u>6/8/2023</u>
	1 (one) Plat signed by subdivider and lien holder, appropriate Zoning, Del-Co, and Health, delivered to the RPC by the deadline.
	1 reduced copy of the Final Plat at 11" x 17". ✓
	PDF of plat, on media or preferably e-mailed to <u>smatlack@co.delaware.oh.us</u> ✓
	For plats including a CAD - 1 copy of CAD Maintenance Agreement
	Fee - \$500 base, then \$110 per build lot, CADs require additional fees; ✓ For commercial and multi-family - \$500 base, then \$110 per acre; DCRPC will collect a \$3.00 per buildable lot fee for the Commissioners (Refer to Fee Schedule) \$ <u>6828.00</u>

 1/23/24
Owner (or agent for owner) and Date

Delaware County Regional Planning Commission, 1610 State Route 521, P.O. Box 8006
Delaware, OH 43015 (740) 833-2260

Effective 01/01/24

THE RAVINES AT HOOVER

STATE OF OHIO, COUNTY OF DELAWARE, TOWNSHIP OF GENOA, FARM LOT 4, 6 AND 7, SECTION 1, TOWNSHIP 3, RANGE 17 UNITED STATES MILITARY LANDS

SITUATED IN THE STATE OF OHIO, COUNTY OF DELAWARE, TOWNSHIP OF GENOA, FARM LOTS 4, 6 AND 7, SECTION 1, TOWNSHIP 3, RANGE 17, UNITED STATES MILITARY LANDS, BEING ALL OF THAT 42.804 ACRE TRACT OF LAND AS CONVEYED TO RAVINES AT HOOVER LLC, OF RECORD IN OFFICIAL RECORD 1970, PAGE 2796, BEING OF RECORD IN THE RECORDER'S OFFICE, DELAWARE COUNTY, OHIO.

THE UNDERSIGNED, RAVINES AT HOOVER LLC, AN OHIO LIMITED LIABILITY COMPANY, BY VINCENT ROMANELLI, OWNER OF THE LAND PLATTED HEREIN, DULY AUTHORIZED IN THE PREMISES, DOES HEREBY CERTIFY THAT THIS PLAT CORRECTLY REPRESENTS "THE RAVINES AT HOOVER", A SUBDIVISION CONTAINING LOTS NUMBERED 8170-8227, INCLUSIVE, AS NUMBERED AND DELINEATED HEREON, AND DOES HEREBY ACCEPT THIS PLAT OF SAME.

EASEMENTS ARE HEREBY RESERVED, IN, OVER AND UNDER AREAS DESIGNATED ON THIS PLAT AS "DRAINAGE EASEMENT (DRN. EASEMENT)", "EASEMENT", "MULTI-USE PATH EASEMENT", "SANITARY EASEMENT (SAN. EASEMENT)", "UTILITY EASEMENT (UTIL. EASEMENT)", "TEMPORARY CONSTRUCTION EASEMENT" "SIDEWALK EASEMENT" OR "WATER EASEMENT". EASEMENTS DESIGNATED AS "DRAINAGE EASEMENT (DRN. EASEMENT)", "EASEMENT", "MULTI-USE PATH EASEMENT", "UTILITY EASEMENT (UTIL. EASEMENT)", "TEMPORARY CONSTRUCTION EASEMENT" OR "SIDEWALK EASEMENT". PERMIT THE CONSTRUCTION, OPERATION, AND MAINTENANCE OF ALL PUBLIC AND QUASI-PUBLIC UTILITIES ABOVE, BENEATH, AND ON THE SURFACE OF THE GROUND AND, WHERE NECESSARY, FOR THE CONSTRUCTION, OPERATION, AND MAINTENANCE OF SERVICE CONNECTIONS TO ALL ADJACENT LOTS AND LANDS AND FOR STORM WATER DRAINAGE UNLESS OTHERWISE NOTED HEREIN..

IN WITNESS WHEREOF, VINCENT ROMANELLI, OWNER OF RAVINES AT HOOVER LLC, AN OHIO LIMITED LIABILITY COMPANY, HAS CAUSED THIS PLAT TO BE EXECUTED BY THIS DULY AUTHORIZED OFFICE.

THIS _____ DAY OF _____, 20 ____.

SIGNED AND ACKNOWLEDGED
IN THE PRESENCE OF: RAVINES AT HOOVER LLC,
AN OHIO LIMITED LIABILITY COMPANY

BY: _____
VINCENT ROMANELLI,
OWNER

STATE OF OHIO
COUNTY OF DELAWARE:

BEFORE ME, A NOTARY PUBLIC IN AND FOR SAID STATE, PERSONALLY APPEARED VINCENT ROMANELLI, OWNER OF SAID RAVINES AT HOOVER LLC, AN OHIO LIMITED LIABILITY COMPANY, WHO ACKNOWLEDGED THE SIGNING OF THE FOREGOING INSTRUMENT TO BE HIS/HER VOLUNTARY ACT AND DEED AND THE VOLUNTARY ACT AND DEED OF RAVINES AT HOOVER LLC, AN OHIO LIMITED LIABILITY COMPANY, FOR ITS USES AND PURPOSES EXPRESSED THEREIN.

IN WITNESS THEREOF, I HAVE HEREUNTO SET MY HAND AND AFFIXED MY OFFICIAL SEAL

THIS _____ DAY OF _____, 20 ____.

MY COMMISSION EXPIRES _____

APPROVED THIS _____ DAY OF _____, 20 ____.

GENOA TWP., ZONING INSPECTOR

APPROVED THIS _____ DAY OF _____, 20 ____.

DEL-CO WATER CO., INC.

APPROVED THIS _____ DAY OF _____, 20 ____.

DELAWARE COUNTY SANITARY ENGINEER

APPROVED THIS _____ DAY OF _____, 20 ____.

DELAWARE COUNTY ENGINEER

APPROVED THIS _____ DAY OF _____, 20 ____.

DIRECTOR, DELAWARE COUNTY
REGIONAL PLANNING COMMISSION

THIS _____ DAY OF _____, 20 ____
RIGHTS-OF-WAY FOR PUBLIC DRIVES AND ROADS HEREIN DEDICATED TO PUBLIC USE ARE HEREBY APPROVED FOR THE COUNTY OF DELAWARE, STATE OF OHIO. STREET IMPROVEMENTS WITHIN SAID DEDICATED RIGHT-OF-WAY SHALL NOT BE ACCEPTED FOR PUBLIC USE AND/OR MAINTENANCE UNLESS AND UNTIL CONSTRUCTION IS COMPLETED AND STREETS ARE FORMALLY ACCEPTED BY DELAWARE COUNTY.

DELAWARE COUNTY COMMISSIONERS

TRANSFERRED THIS _____ DAY OF _____, 20 ____.

AUDITOR, DELAWARE COUNTY, OHIO

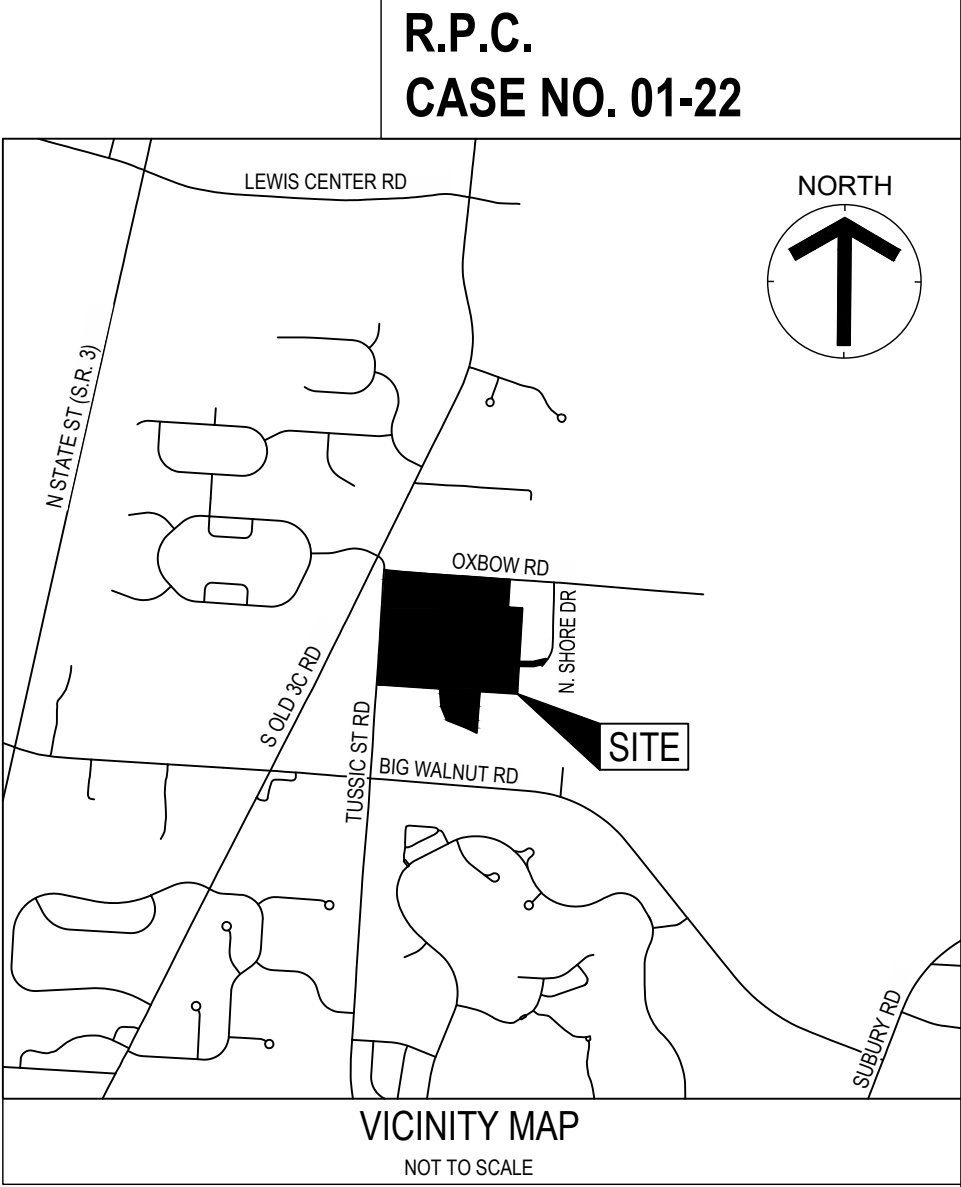
RECORDER, DELAWARE COUNTY, OHIO

RECORDED THIS _____ DAY OF _____, 20 ____.

AT ____ A.M./P.M.

IN BOOK _____, PAGE(S) _____;

PLAT CABINET _____, SLIDE _____. FEE \$ _____.



BASIS OF BEARING

THE BASIS OF BEARING IS BASED ON A BEARING OF NORTH 03° 54' 11" EAST FOR THE CENTERLINE OF TUSSIC STREET AS OBSERVED WITH GPS OBSERVATIONS, OHIO STATE PLANE, NORTH ZONE, NAD 83 (2011).

SOURCE OF DATA

THE SOURCES OF RECORDED SURVEY DATA REFERENCED IN THE PLAN AND TEXT OF THIS PLAT ARE THE RECORDS OF THE RECORDER'S OFFICE, DELAWARE COUNTY, OHIO.

IRON PINS

ALL IRON PINS SET ARE SOLID 5/8" REBAR WITH A CAP MARKED "CESO". MONUMENTS SHALL BE SET UPON COMPLETION OF CONSTRUCTION.

PERMANENT MARKERS

ALL IRON PINS SET ARE SOLID IRON PINS, 1" IN DIAMETER, WITH AN ALUMINUM CAP STAMPED "CESO". MONUMENTS SHALL BE SET UPON COMPLETION OF CONSTRUCTION.

FLOOD NOTE

AT THE TIME OF PLATTING AS DEDICATION PLAT OF "THE RAVINES AT HOOVER" IS IN THE FLOOD HAZARD ZONE "X" (OUTSIDE OF THE 0.2% ANNUAL CHANCE FLOODPLAIN) AND WITHING ZONE "A" (AREA WITHIN THE 1% ANNUAL CHANCE FLOODPLAIN) AS DESIGNATED AND DELINEATED ON THE FEMA FLOOD INSURANCE MAP FOR DELAWARE COUNTY, OHIO, AND INCORPORATED AREA, MAP NUMBER 39041C0270K WITH EFFECTIVE DATES, OF APRIL 16, 2009.

DRAINAGE MAINTENANCE NOTE

DRAINAGE MAINTENANCE PETITION RECORDED IN THE DELAWARE COUNTY COMMISSIONER'S JOURNAL,

RESOLUTION No. _____

JOURNAL DATE _____

CERTIFICATION

WE DO HEREBY CERTIFY THAT WE HAVE SURVEYED THE ATTACHED PREMISES, PREPARED THE ATTACHED PLAT, AND THAT SAID PLAT IS CORRECT. ALL DIMENSIONS ARE SHOWN IN FEET AND DECIMAL PARTS THEREOF. PERMANENT MARKERS, MAGNETIC NAILS AND IRON PINS ARE TO BE PLACED AS SHOWN UPON COMPLETION OF CONSTRUCTION NECESSARY TO THE IMPROVEMENTS OF THIS LAND.

FIELD WORK WAS COMPLETED IN MAY 3, 2022.

CESO IRON PIN LEGEND	
○	IRON PIN FOUND
●	IRON PIN TO BE SET (5/8"x30" REBAR W/ CESO CAP)
✂	MAG NAIL FOUND
△	MAG NAIL SET
●	PERMANENT MARKER SET (1"X30" REBAR W/ ALUMINUM CESO CAP)
☐	MONUMENT BOX FOUND

ACREAGE BREAKDOWN
TOTAL ACREAGE: 42.804 ACRES
ACREAGE IN FARM LOT 4: 6.312 ACRES
ACREAGE IN FARM LOT 6: 33.192 ACRES
ACREAGE IN FARM LOT 7 3.300 ACRES

JEFFREY MILLER, P.S. DATE:
OHIO P.S. NO. 7211
2800 CORPORATE EXCHANGE DRIVE, SUITE 400
COLUMBUS, OHIO 43231

THE RAVINES AT HOOVER		
PLAT		
GENOA TOWNSHIP		DELAWARE COUNTY, OHIO
SCALE: N/A		DATE: 1/26/2024
DESIGN: N/A	CESO WWW.CESOINC.COM	JOB NO.: 760149
DRAWN: DAV		SHEET NO.:
CHECKED: ALB		1 OF 5

THE RAVINES AT HOOVER

STATE OF OHIO, COUNTY OF DELAWARE, TOWNSHIP OF GENOA,
FARM LOT 4, 6 AND 7, SECTION 1, TOWNSHIP 3, RANGE 17
UNITED STATES MILITARY LANDS

NOTE "A": NOTICE IS HEREBY GIVEN TO ANY BUYER OF THE LOTS DELINEATED UPON THIS PLAT, THAT ON FILE WITH THE BUILDING DEPARTMENT OF DELAWARE COUNTY, ARE SITE IMPROVEMENTS PLANS FOR THE DEVELOPMENT OF SAID LOTS SHOWING PROPOSED LOT DRAINAGE, PROPOSED GROUND ELEVATION AT HOUSE AND/OR LOT GRADING PLANS. THESE PLANS, AS APPROVED BY THE GOVERNMENTAL AGENCIES, ARE CONSIDERED PART OF THE APPROVAL OF THIS SUBDIVISION AND ARE TO BE INCORPORATED INTO THE FINAL PLOT PLAN REQUIRED WITH THE BUILDING PERMIT.

NOTE "B": GENOA TOWNSHIP ZONING CODE FOR "THE RAVINES AT HOOVER". IN EFFECT AT TIME OF PLATTING OF "THE RAVINES AT HOOVER". SPECIFIES THE FOLLOWING SETBACK REQUIREMENTS:

DESIGNATION	PRD
FRONT:	25 FEET
REAR:	20 FEET
SIDE:	10 FEET

NOTE "C": ACREAGE BREAKDOWN
TOTAL ACREAGE: 42.804 ACRES
ACREAGE IN RIGHT-OF-WAY: 6.662 ACRES
ACREAGE IN LOTS (8170-8225): 11.600 ACRES
ACREAGE IN LOTS 8226-8227 (OPEN SPACE) 24.542 ACRES

NOTE "D": A NON-EXCLUSIVE EASEMENT IS HEREBY SPECIFICALLY GRANTED UNTO DEL-CO WATER COMPANY INC., ITS SUCCESSORS AND ASSIGNS, FOR THE LOCATION OF WATER LINES, VALVES AND APPURTENANCES WITHIN THE RIGHTS-OF-WAY HEREBY DEDICATED AND WITHIN AREAS DESIGNATED HEREON AS "UTILITY EASEMENT", "SIDEWALK EASEMENT", "MULTI-USE PATH EASEMENT", "TEMPORARY CONSTRUCTION EASEMENT", "EMERGENCY ACCESS EASEMENT", "SANITARY EASEMENT" OR "DRAINAGE EASEMENT" THAT ARE LOCATED ALONGSIDE THE RIGHTS-OF-WAY HEREBY DEDICATED. ALSO GRANTED IS THE RIGHT OF DEL-CO WATER COMPANY INC., TO INSTALL, SERVICE, AND MAINTAIN WATER METER CROCKS AND APPURTENANCES IN SAID EASEMENT AREAS ALONGSIDE SAID RIGHTS-OF-WAY. THE EASEMENT AREA SHALL BE FOR THE UNOBSTRUCTED USE OF DEL-CO WATER COMPANY, INC. PLACEMENT OF FENCES, WALLS, PILLARS, TREES, GARDENS, SHRUBBERIES, AND OTHER SURFACE FEATURES IS STRICTLY PROHIBITED.

NOTE "E": ON FILE WITH COUNTY ENGINEERING, BUILDING, HEALTH AND PLATTING AUTHORITIES ARE PLANS INDICATING THE NATURE AND LOCATION OF VARIOUS SUBDIVISION IMPROVEMENTS.

NOTE "F": BE ADVISED: A SUB-SURFACE DRAINAGE SYSTEM MAY EXIST ON THIS SITE. THE SYSTEM AND/OR OUTLET IF LOCATED ON THIS PROPERTY MUST BE MAINTAINED AT ALL TIMES.

NOTE "G": ZONING SETBACKS REFLECT CURRENT ZONING STANDARDS AT THE TIME OF THE ZONING INSPECTOR'S SIGNATURE OF THE FINAL PLAT AND ARE NOT SUBDIVISION PLAT RESTRICTIONS.

NOTE "H": AT THE TIME OF PLATTING AS DEDICATION PLAT OF "THE RAVINES AT HOOVER" IS IN THE FLOOD HAZARD ZONE "X" (OUTSIDE OF THE 0.2% ANNUAL CHANCE FLOODPLAIN) AND WITHING ZONE "A" (AREA WITHIN THE 1% ANNUAL CHANCE FLOODPLAIN) AS DESIGNATED AND DELINEATED ON THE FEMA FLOOD INSURANCE MAP FOR DELAWARE COUNTY, OHIO, AND INCORPORATED AREA, MAP NUMBER 39041C0270K WITH EFFECTIVE DATES, OF APRIL 16, 2009.

NOTE "I": AT THE TIME OF PLATTING, ELECTRIC, CABLE AND TELEPHONE SERVICE PROVIDERS HAVE NOT ISSUED INFORMATION REQUIRED SO THAT EASEMENT AREAS, IN ADDITION TO THOSE SHOWN ON THIS PLAT AS DEEMED NECESSARY BY THESE PROVIDERS FOR THE INSTALLATION AND MAINTENANCE OF ALL OF THEIR MAIN LINE FACILITIES, COULD CONVENIENTLY BE SHOWN ON THIS PLAT. EXISTING RECORDED EASEMENT INFORMATION DESIRED ABOUT SUBDIVISION PLAT OF "THE RAVINES AT HOOVER". PLAT OR ANY PART THEREOF CAN BE ACQUIRED BY A COMPETENT EXAMINATION OF THE THEN CURRENT PUBLIC RECORD, INCLUDING THOSE IN THE DELAWARE COUNTY RECORDER'S OFFICE.

NOTE "J": FOR ANY EASEMENT SHOWN ON THIS PLAT THAT CONTAINS A STORM SEWER, CULVERT, OVER LAND OPEN DITCH FLOOD ROUTE, DETENTION BASIN, RETENTION BASIN AND/OR OTHER STORM WATER STRUCTURE (HEREIN REFERRED TO AS STORM SEWER), THE STORM SEWER RIGHTS ARE SENIOR TO THE RIGHTS OF ANY OTHER PUBLIC OR PRIVATE UTILITY OR INTEREST UTILIZING THE EASEMENT, EXCEPT FOR OVERLAP AREAS WITH A "SANITARY EASEMENT". ANY COSTS ASSOCIATED WITH THE DAMAGE, REPAIR, REPLACEMENT OR RELOCATION OF ANY BURIED OR ABOVE GROUND FACILITY OR STRUCTURE THAT IS NECESSARY TO ALLOW THE MAINTENANCE, REPAIR OR REPLACEMENT OF THE STORM SEWER SHALL BE THE RESPONSIBILITY OF THE OWNER OF SAID UTILITY, FACILITY OR STRUCTURE. WHEN MAINTENANCE, REPAIR OR REPLACEMENT OF A STORM SEWER CAUSES THE REMOVAL OF ANY TREES, PLANTINGS, LANDSCAPING, FENCE, DRIVEWAY OR ANY OTHER FEATURE LOCATED WITHIN THE EASEMENT, THE REPLACEMENT AND COST OF SAID ITEMS SHALL BE THE RESPONSIBILITY OF THE OWNER OF THE UNDERLYING PROPERTY OR HOMEOWNER'S ASSOCIATION IF APPLICABLE.

NOTE "K": ANY LANDSCAPE FEATURES, SUCH AS TREES, FENCES, RETAINING WALLS, ETC. IN DRAINAGE EASEMENTS SHALL BE REVIEWED BY THE DELAWARE SOIL AND WATER

CONSERVATION DISTRICT (DCWCD) AND THE DELAWARE COUNTY ENGINEER'S OFFICE (DCEO) PRIOR TO INSTALLATION. THE DSWCD AND DCEO WILL REVIEW THE PROPOSED IMPROVEMENTS TO ASSURE THAT THE IMPROVEMENTS TO ASSURE THAT THE IMPROVEMENTS WILL NOT INTERFERE WITH THE STORM WATER CONTROL FACILITIES.

NOTE "L": NO BUILDINGS, SHEDS, DECKS, POOLS, OR OTHER SUCH STRUCTURES, OR THE FOOTERS OR FOUNDATIONS OF ANY STRUCTURES OR FEATURES SHALL BE CONSTRUCTED ABOVE OR BELOW GROUND WITHIN THE LIMITS OF ANY DRAINAGE EASEMENT UNLESS SAID STRUCTURE IS APPROVED IN WRITING BY THE DELAWARE COUNTY ENGINEER'S OFFICE.

NOTE "M": ALL RESERVE/OPEN SPACES DELINEATED ON THIS PLAT SHALL BE ACCESSIBLE TO DELAWARE COUNTY, ITS SUCCESSORS AND ASSIGNS, FOR DRAINAGE MAINTENANCE PURPOSES.

NOTE "N": NON-EXCLUSIVE UTILITY EASEMENTS ARE PLATTED FOR THE CONSTRUCTION, OPERATION AND MAINTENANCE OF PUBLIC AND PRIVATE UTILITIES, STORM WATER MANAGEMENT, AND SERVICE CONNECTIONS THERETO, ABOVE AND BENEATH THE SURFACE OF THE GROUND.

NOTE "O": WITHIN THOSE AREAS OF LAND DESIGNATED "DRAINAGE EASEMENT" ON THIS PLAT, AN ADDITIONAL EASEMENT IS HEREBY RESERVED FOR THE PURPOSE OF CONSTRUCTING, OPERATING AND MAINTAINING MAJOR STORM WATER DRAINAGE SWALES AND/OR OTHER STORM WATER DRAINAGE FACILITIES. NO ABOVE GRADE STRUCTURES, DAMS OR OTHER OBSTRUCTIONS TO THE FLOW OF STORM WATER RUNOFF ARE PERMITTED WITHIN DRAINAGE EASEMENT AREAS AS DELINEATED ON THIS PLAT.

NOTE "P": LOTS 8226 AND 8227 AS DESIGNATED AND DELINEATED HEREON, ARE RESERVED FOR OPEN SPACE, STORMWATER CONTROL, MAINTENANCE, AMENITY AND RECREATIONAL PURPOSES. LOTS 8226 AND 8227 ARE TO BE OWNED AND MAINTAINED BY THE HOMEOWNERS ASSOCIATION COMPRISED OF THE FEE SIMPLE TITLES TO THE PLATTED LOTS SHOWN HEREON.

NOTE "Q": WITHIN THOSE AREAS SHOWN HEREON AS "CONSERVATION AREA" THERE WILL NOT BE ANY UTILITIES, BUILDING OR STORAGE PERMITTED WITHIN SAID CONSERVATION AREA, NO REMOVAL OF TREES, AND OR THE CLEARING OF PLANT MATERIAL SHALL BE PERMITTED. ALTERATION OF GRADE IS PROHIBITED EXCEPT AS APPROVED BY THE DEVELOPMENT DEPARTMENT AND IS KEEPING WITH THE POSITIVE DRAINAGE PRACTICES AND SUBDIVISION GRADING REQUIREMENTS.

NOTE "R": NO VEHICULAR ACCESS TO BE IN EFFECT UNTIL SUCH TIME AS THE PUBLIC STREET RIGHT-OF-WAY IS EXTENDED BY PLAT, DEED, OR EASEMENT.

NOTE "S": SANITARY EASEMENTS ARE SOLELY FOR CONSTRUCTION, OPERATION, AND MAINTENANCE OF PUBLIC AND OR PRIVATE SANITARY SEWERS, SERVICE CONNECTIONS, MANHOLES, FORCE MAINS, VALVES, AND OTHER SANITARY APPURTENANCES. SANITARY EASEMENTS MAY BE CROSSED BY OTHER UTILITIES AS EXPRESSED HEREIN.

NOTE "T": ALL EASEMENTS AND RESERVES THAT OVERLAP OR COVER ALL OR PORTIONS OF A "SANITARY EASEMENT" SHALL BE SUBJECT TO THE PROVISIONS OF THE "SANITARY EASEMENT" WITHIN THE OVERLAP OR COVER AREAS. WORK TO FACILITATE SURFACE WATER DRAINAGE WITHIN THE OVERLAP OR COVER AREAS IS NOT RESTRICTED; HOWEVER ANY PROPOSED NEW STORM SEWER PIPES, INLETS, CATCH BASINS, STRUCTURES, OR OTHER STORM WATER APPURTENANCES OR INFRASTRUCTURE FEATURES SUBSEQUENT TO THOSE WHICH WERE PERMITTED WITH THE ORIGINAL SANITARY SEWER IMPROVEMENTS SHALL ONLY BE PERMITTED IF APPROVED BY THE GOVERNING STORMWATER AUTHORITY AND THE DELAWARE COUNTY SANITARY ENGINEER.

NOTE "U": THE ADDITION OR REMOVAL OF ANY DIRT, SOIL, FILL, OR OTHER CHANGES TO THE GROUND ELEVATION ABOVE THE SANITARY SEWER OR FORCE MAIN AND/OR WITHIN THE SANITARY EASEMENT SHALL BE SUBJECT TO APPROVAL OF THE DELAWARE COUNTY SANITARY ENGINEER.

NOTE "V": THE DELAWARE COUNTY SANITARY ENGINEER RESERVES THE RIGHT TO REQUIRE THAT ALL EARTHWORK WITHIN THE SANITARY EASEMENT BE GRADED TO SUCH A LEVEL THAT WILL, IN HIS OR HER OPINION, NOT JEOPARDIZE THE STRUCTURAL INTEGRITY OF, INFRINGE UPON, OR LIMIT THE COUNTY'S REASONABLE ACCESS TO THE SANITARY SEWER OR FORCE MAIN.

NOTE "W": NO OTHER UTILITY LINES, CONDUITS, MAINS, VALVES, BOXES, PEDESTALS, TRANSFORMERS, OR OTHER UTILITY APPURTENANCES ARE PERMITTED WITHIN ANY SANITARY EASEMENT UNLESS THEY ARE APPROVED ON THE SIGNED SANITARY SEWER PLANS, OR OTHERWISE APPROVED IN WRITING BY THE DELAWARE COUNTY SANITARY ENGINEER, EXCEPT THAT THE RIGHTS GRANTED TO DELCO WATER COMPANY, ITS SUCCESSORS, AND ASSIGNS TO INSTALL, SERVICE AND MAINTAIN RESIDENTIAL WATER SERVICES, METER CROCKS AND APPURTENANCES AS DESIGNATED ON THIS PLAT ARE NOT RESTRICTED.

NOTE "X": OTHER UTILITY CROSSINGS WITHIN THE SANITARY EASEMENT ARE ONLY PERMITTED AS DESCRIBED HEREIN, UNLESS THEY ARE APPROVED ON THE SIGNED SANITARY SEWER PLANS OR OTHERWISE APPROVED IN WRITING BY THE DELAWARE COUNTY SANITARY ENGINEER. RIGHT ANGLE OR NEAR RIGHT ANGLE UTILITY CROSSINGS ("NEAR RIGHT ANGLE" IS DEFINED AS AN ANGLE BETWEEN EIGHTY (80) DEGREES AND ONE-HUNDRED (100) DEGREES) OVER, ACROSS, OR UNDER A SANITARY SEWER OR FORCE MAIN AND OVER, ACROSS, UNDER, OR THROUGH THE SANITARY EASEMENT ARE NOT HEREBY RESTRICTED, EXCEPT THAT ALL UTILITY CROSSINGS UNDER A SANITARY SEWER OR FORCE MAIN SHALL BE SUBJECT TO THE REVIEW AND APPROVAL OF THE DELAWARE COUNTY SANITARY ENGINEER.

NOTE "Y": WHEN MAINTENANCE, REPAIR OR REPLACEMENT OF PUBLIC SANITARY SEWERS, MANHOLES, FORCE MAINS, VALVES, AND OTHER PUBLIC SANITARY APPURTENANCES CAUSES THE REMOVAL OF ANY TREES, PLANTINGS, LANDSCAPING, FENCE, OR ANY OTHER FEATURE LOCATED WITHIN THE SANITARY EASEMENT, WITH THE EXCEPTION OF DRIVEWAYS AND PEDESTRIAN PATHWAYS, THE REPLACEMENT AND COST OF SAID ITEMS SHALL BE THE RESPONSIBILITY OF THE OWNER OF THE UNDERLYING PROPERTY OR HOMEOWNER'S ASSOCIATION IF APPLICABLE.

NOTE "Z": A 5' WIDE SIDEWALK EASEMENT TO BE CENTERED ON THE WALK AS INSTALLED IS HEREBY RESERVED FOR THE PURPOSE OF PUBLIC ACCESS AND IS TO BE OWNED AND MAINTAINED BY GENOA TOWNSHIP OR ITS ASSIGNEES.

NOTE "AA": A 20' WIDE TEMPORARY CONSTRUCTION EASEMENT TO BE CENTERED ON THE MULTI-USE PATH AS INSTALLED AND A 15' WIDE TEMPORARY CONSTRUCTION EASEMENT PARALLEL TO OXBOW ROAD WITHIN LOT 8226 IS HEREBY RESERVED FOR THE PURPOSE OF CONSTRUCTING THE MULTI-USE PATH AND SIDEWALK BY GENOA TOWNSHIP OR ITS ASSIGNEES AND SHALL REMAIN IN USE UNTIL SAID MULTI-USE PATH AND SIDEWALK ARE CONSTRUCTED AND ACCEPTED.

NOTE "BB": A 10' WIDE MULTI-USE PATH EASEMENT WITHIN LOT 8226 IS TO BE CENTERED ON THE PATH AS INSTALLED IS HEREBY RESERVED AND GRANTED TO GENOA TOWNSHIP OR ITS ASSIGNEES FOR THE RIGHTS TO CONSTRUCT (AND BY EXTENSION CONTROL AND MAINTAIN) A MULTI-USE PATH FOR THE PURPOSE OF PUBLIC ACCESS.

NOTE "CC": A 10' WIDE MULTI-USE PATH EASEMENT WITHIN LOT 8226 IS TO BE CENTERED ON THE PATH AS INSTALLED IS HEREBY RESERVED AND GRANTED TO THE HOMEOWNERS ASSOCIATION COMPRISED OF THE FEE SIMPLE TITLES TO THE PLATTED LOTS SHOWN HEREON, FOR THE CONSTRUCTION AND MAINTENANCE OF A MULTI-USE PATH FOR THE PURPOSE OF PUBLIC ACCESS AND IS TO BE OWNED AND MAINTAINED BY THE HOMEOWNERS ASSOCIATION COMPRISED OF THE FEE SIMPLE TITLES TO THE PLATTED LOTS SHOWN HEREON.

NOTE "DD": NO UTILITIES ARE PERMITTED WITHIN THE EMERGENCY ACCESS EASEMENT AS DESIGNATED AND DELINEATED HEREON, EXCEPT FOR THOSE UTILITIES CROSSING AT RIGHT ANGLE OR NEAR RIGHT ANGLE ("NEAR RIGHT ANGLE" IS DEFINED AS AN ANGLE BETWEEN EIGHTY (80) DEGREES AND ONE-HUNDRED (100) DEGREES) OVER, ACROSS, OR UNDER EMERGENCY ACCESS EASEMENT. ACCESS IS GRANTED TO ANY GOVERNMENT EMPLOYEE OR LICENSEES FOR USE IN THE COURSE OF PROVIDING POLICE, FIRE, MEDICALS OR OTHER GOVERNMENTAL SERVICES TO THE LOTS WITHIN SAID THE RAVINES AT HOOVER.

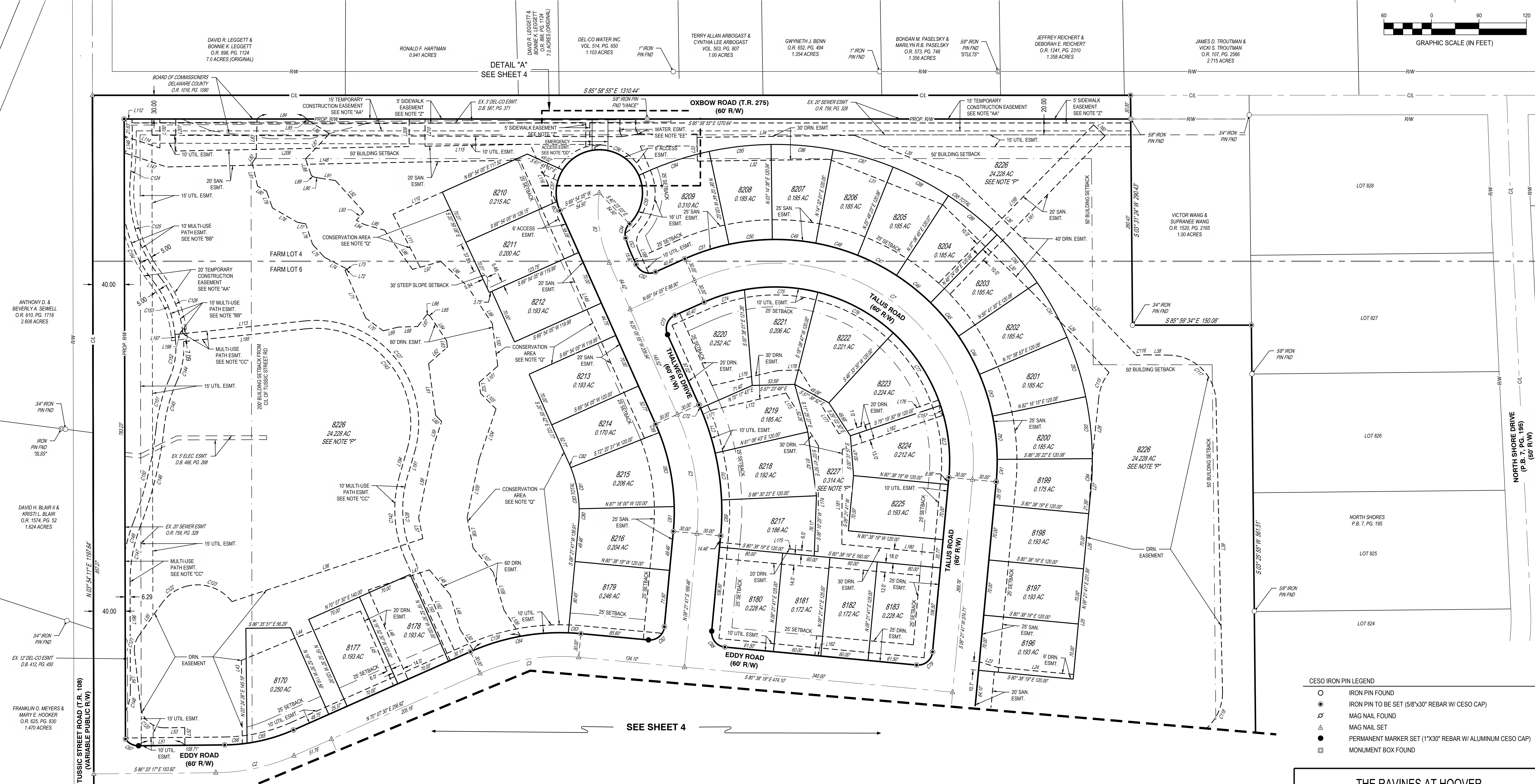
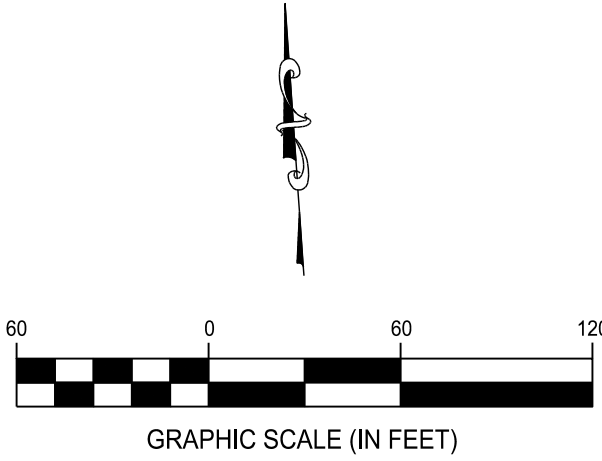
NOTE "EE": AN EXCLUSIVE EASEMENT IS HEREBY SPECIFICALLY GRANTED UNTO DEL-CO WATER COMPANY INC., ITS SUCCESSORS AND ASSIGNS, FOR THE LOCATION OF WATER LINES, VALVES AND APPURTENANCES WITHIN AREAS DESIGNATED HEREON AS "WATER EASEMENT". ALSO GRANTED IS THE RIGHT OF DEL-CO WATER COMPANY INC., TO INSTALL, SERVICE, AND MAINTAIN WATER METER CROCKS AND APPURTENANCES IN SAID EASEMENT AREAS ALONGSIDE SAID RIGHTS-OF-WAY. THE EASEMENT AREA SHALL BE FOR THE UNOBSTRUCTED USE OF DEL-CO WATER COMPANY, INC. PLACEMENT OF FENCES, WALLS, PILLARS, TREES, GARDENS, SHRUBBERIES, AND OTHER SURFACE FEATURES IS STRICTLY PROHIBITED.

CESO IRON PIN LEGEND	
○	IRON PIN FOUND
●	IRON PIN TO BE SET (5/8"x30" REBAR W/ CESO CAP)
⚡	MAG NAIL FOUND
△	MAG NAIL SET
●	PERMANENT MARKER SET (1"X30" REBAR W/ ALUMINUM CESO CAP)
☒	MONUMENT BOX FOUND

THE RAVINES AT HOOVER			
PLAT			
GENOA TOWNSHIP		DELAWARE COUNTY, OHIO	
SCALE: N/A		DATE: 1/26/2024	
DESIGN: N/A	<div>CESO</div> <div>WWW.CESOINC.COM</div>		JOB NO.: 760149
DRAWN: DAV			SHEET NO.:
CHECKED: ALB			2 OF 5

THE RAVINES AT HOOVER

STATE OF OHIO, COUNTY OF DELAWARE, TOWNSHIP OF GENOA,
FARM LOT 4, 6 AND 7, SECTION 1, TOWNSHIP 3, RANGE 17
UNITED STATES MILITARY LANDS



CESO IRON PIN LEGEND

○	IRON PIN FOUND
●	IRON PIN TO BE SET (5/8"x30" REBAR W/ CESO CAP)
⊗	MAG NAIL FOUND
⊙	MAG NAIL SET
▲	PERMANENT MARKER SET (1"x30" REBAR W/ ALUMINUM CESO CAP)
⊠	MONUMENT BOX FOUND

THE RAVINES AT HOOVER			
PLAT			
GENOA TOWNSHIP		DELAWARE COUNTY, OHIO	
SCALE: 1" = 60'		DATE: 1/26/2024	
DESIGN:	N/A	JOB NO.:	760149
DRAWN:	DAV	SHEET NO.:	
CHECKED:	ALB		

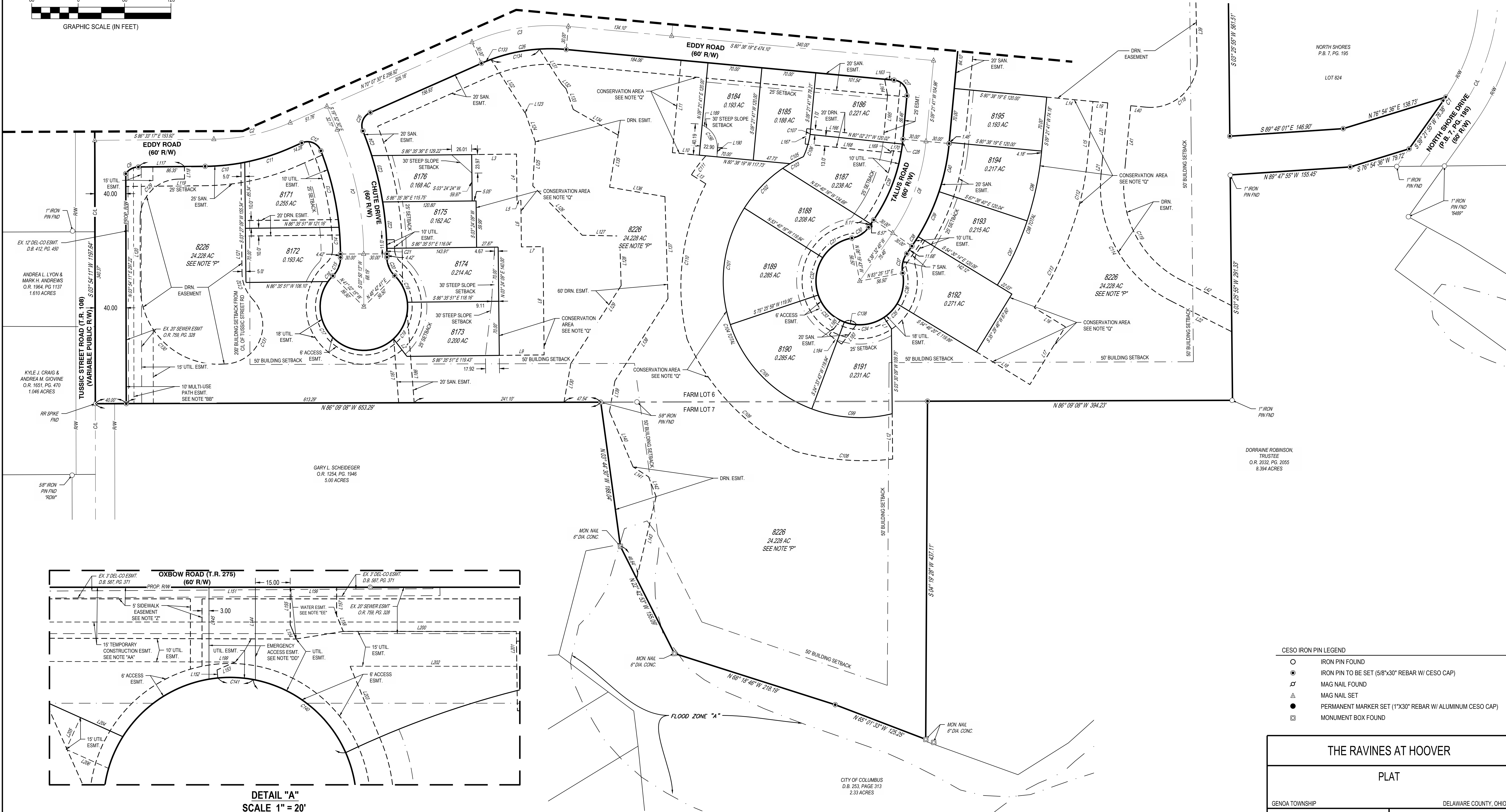


THE RAVINES AT HOOVER

STATE OF OHIO, COUNTY OF DELAWARE, TOWNSHIP OF GENOA,
FARM LOT 4, 6 AND 7, SECTION 1, TOWNSHIP 3, RANGE 17
UNITED STATES MILITARY LANDS



SEE SHEET 3



- CESO IRON PIN LEGEND
- IRON PIN FOUND
 - IRON PIN TO BE SET (5/8"x30" REBAR W/ CESO CAP)
 - ⊗ MAG NAIL FOUND
 - ⊙ MAG NAIL SET
 - ▲ PERMANENT MARKER SET (1"x30" REBAR W/ ALUMINUM CESO CAP)
 - ⊞ MONUMENT BOX FOUND

THE RAVINES AT HOOVER			
PLAT			
GENOA TOWNSHIP		DELAWARE COUNTY, OHIO	
SCALE: 1" = 60'		DATE: 1/26/2024	
DESIGN:	N/A	JOB NO.:	760149
DRAWN:	DAV	SHEET NO.:	
CHECKED:	ALB		4 OF 5



THE RAVINES AT HOOVER

STATE OF OHIO, COUNTY OF DELAWARE, TOWNSHIP OF GENOA,
FARM LOT 4, 6 AND 7, SECTION 1, TOWNSHIP 3, RANGE 17
UNITED STATES MILITARY LANDS

CURVE TABLE					
CURVE	RADIUS	ARC LENGTH	CHORD	CHORD LENGTH	DELTA ANGLE
C1	250.00'	5.56'	S38° 43' 47"W	5.56'	1° 16' 28"
C2	250.00'	101.75'	N61° 47' 07"E	101.05'	23° 19' 14"
C3	250.00'	127.57'	N84° 44' 35"E	126.19'	29° 14' 11"
C4	400.00'	165.54'	S8° 01' 09"E	164.36'	23° 42' 43"
C5	300.00'	154.25'	N5° 22' 07"W	152.56'	29° 27' 36"
C6	162.00'	90.26'	N4° 08' 15"W	89.10'	31° 55' 20"
C7	250.00'	521.24'	S50° 22' 07"E	431.83'	119° 27' 36"
C8	250.00'	127.34'	S23° 57' 13"W	125.97'	29° 11' 04"
C9	20.00'	19.08'	N66° 06' 57"E	18.36'	54° 39' 33"
C10	280.00'	51.57'	N88° 10' 14"E	51.50'	10° 33' 10"
C11	280.00'	63.66'	N76° 22' 51"E	63.52'	13° 01' 35"
C12	18.50'	29.89'	S63° 35' 34"E	26.74'	92° 33' 52"
C13	370.00'	101.99'	S9° 24' 51"E	101.66'	15° 47' 35"
C14	370.00'	34.58'	S1° 09' 35"W	34.57'	5° 21' 16"
C15	33.50'	26.38'	S26° 23' 59"W	25.71'	45° 07' 32"
C16	56.50'	9.74'	S44° 01' 31"W	9.72'	9° 52' 27"
C17	56.50'	165.43'	S44° 47' 35"E	112.36'	167° 45' 48"
C18	56.50'	52.43'	N24° 44' 37"E	50.56'	53° 09' 49"
C19	56.50'	38.90'	N21° 33' 48"W	38.14'	39° 27' 02"
C20	33.50'	26.38'	N18° 43' 33"W	25.71'	45° 07' 32"
C21	430.00'	7.20'	N3° 21' 27"E	7.20'	0° 57' 32"
C22	430.00'	60.24'	N1° 08' 07"W	60.19'	8° 01' 35"
C23	430.00'	61.52'	N9° 14' 48"W	61.46'	8° 11' 48"
C24	430.00'	33.93'	N15° 36' 19"W	33.92'	4° 31' 13"
C25	18.50'	28.41'	N26° 07' 47"E	25.70'	87° 59' 26"
C26	220.00'	112.26'	N84° 44' 35"E	111.05'	29° 14' 11"

CURVE TABLE					
CURVE	RADIUS	ARC LENGTH	CHORD	CHORD LENGTH	DELTA ANGLE
C27	18.50'	29.06'	S35° 38' 19"E	26.16'	90° 00' 00"
C28	220.00'	6.30'	S10° 10' 56"W	6.30'	1° 38' 30"
C29	220.00'	105.76'	S24° 46' 28"W	104.74'	27° 32' 33"
C30	33.50'	26.38'	S61° 06' 31"W	25.71'	45° 07' 32"
C31	56.50'	46.68'	S60° 00' 00"W	45.37'	47° 20' 33"
C32	56.50'	50.19'	S10° 52' 51"W	48.55'	50° 53' 45"
C33	56.50'	50.16'	S40° 00' 09"E	46.53'	50° 52' 16"
C34	56.50'	53.46'	N87° 27' 21"E	51.49'	54° 12' 42"
C35	56.50'	24.77'	N47° 47' 20"E	24.58'	25° 07' 21"
C36	56.50'	41.23'	N14° 19' 26"E	40.32'	41° 48' 27"
C37	33.50'	26.38'	N15° 58' 59"E	25.71'	45° 07' 32"
C38	280.00'	14.67'	N37° 02' 40"E	14.67'	3° 00' 09"
C39	280.00'	64.26'	N26° 58' 06"E	64.12'	13° 08' 59"
C40	280.00'	63.69'	N15° 52' 39"E	63.55'	13° 01' 56"
C41	280.00'	28.35'	N6° 27' 39"E	28.34'	5° 48' 04"
C42	280.00'	55.17'	N2° 05' 04"W	55.08'	11° 17' 22"
C43	280.00'	55.17'	N13° 22' 26"W	55.08'	11° 17' 22"
C44	280.00'	55.17'	N24° 39' 49"W	55.08'	11° 17' 22"
C45	280.00'	55.17'	N35° 57' 11"W	55.08'	11° 17' 22"
C46	280.00'	55.17'	N47° 14' 33"W	55.08'	11° 17' 22"
C47	280.00'	55.17'	N58° 31' 56"W	55.08'	11° 17' 22"
C48	280.00'	55.17'	N69° 49' 18"W	55.08'	11° 17' 22"
C49	280.00'	55.17'	N81° 06' 41"W	55.08'	11° 17' 22"
C50	280.00'	55.17'	S87° 35' 57"W	55.08'	11° 17' 22"
C51	280.00'	58.90'	S75° 55' 40"W	58.79'	12° 03' 11"
C52	18.50'	29.06'	N65° 05' 55"W	26.16'	90° 00' 00"

CURVE TABLE					
CURVE	RADIUS	ARC LENGTH	CHORD	CHORD LENGTH	DELTA ANGLE
C53	132.00'	20.07'	N15° 44' 37"W	20.05'	8° 42' 37"
C54	18.50'	19.70'	N19° 06' 49"E	18.78'	61° 00' 15"
C55	54.50'	66.11'	N14° 52' 01"E	62.13'	69° 29' 52"
C56	54.50'	117.95'	N18° 53' 03"W	96.24'	124° 00' 16"
C57	54.50'	41.46'	S14° 19' 20"W	40.46'	43° 34' 59"
C58	54.50'	12.01'	S13° 47' 02"E	11.99'	12° 37' 46"
C59	270.00'	11.50'	S18° 52' 42"E	11.50'	2° 26' 26"
C60	270.00'	95.94'	S7° 28' 45"E	95.43'	20° 21' 29"
C61	270.00'	31.39'	S6° 01' 51"W	31.37'	6° 39' 41"
C62	18.50'	29.06'	S54° 21' 41"W	26.16'	90° 00' 00"
C63	280.00'	15.91'	S47° 14' 52"E	15.91'	3° 15' 20"
C64	280.00'	126.97'	S83° 06' 55"W	125.88'	25° 58' 51"
C65	220.00'	61.12'	S78° 05' 02"W	60.92'	15° 55' 05"
C66	220.00'	28.42'	S89° 44' 39"W	28.40'	7° 24' 09"
C67	20.00'	19.32'	N58° 52' 25"W	18.58'	55° 21' 43"
C68	18.50'	29.06'	N35° 38' 19"W	26.16'	90° 00' 00"
C69	330.00'	45.32'	N5° 25' 39"E	45.28'	7° 52' 04"
C70	330.00'	59.79'	N3° 41' 50"W	59.71'	10° 22' 54"
C71	330.00'	59.80'	N14° 04' 46"W	59.72'	10° 22' 58"
C72	330.00'	4.77'	N19° 41' 05"W	4.77'	0° 49' 40"
C73	18.50'	29.06'	S82° 54' 05"E	26.16'	90° 00' 00"
C74	220.00'	53.39'	N76° 51' 15"E	53.26'	13° 54' 20"
C75	220.00'	93.46'	S84° 01' 24"E	92.76'	24° 20' 22"
C76	220.00'	109.09'	S57° 38' 52"E	107.98'	28° 24' 43"
C77	220.00'	110.46'	S29° 03' 30"E	109.30'	28° 46' 01"
C78	220.00'	92.29'	S2° 39' 24"E	91.62'	24° 02' 11"

CURVE TABLE					
CURVE	RADIUS	ARC LENGTH	CHORD	CHORD LENGTH	DELTA ANGLE
C79	18.50'	29.06'	S54° 21' 41"W	26.16'	90° 00' 00"
C80	150.00'	17.44'	N6° 01' 51"E	17.43'	6° 39' 41"
C81	150.00'	53.30'	N7° 28' 45"W	53.02'	20° 21' 29"
C82	150.00'	6.39'	N81° 52' 42"W	6.39'	2° 26' 26"
C83	150.00'	77.13'	S5° 22' 07"E	76.28'	29° 27' 36"
C84	400.00'	94.05'	N75° 12' 24"E	93.83'	13° 28' 18"
C85	400.00'	78.82'	N87° 35' 16"E	78.69'	11° 17' 25"
C86	400.00'	78.82'	S81° 07' 18"E	78.70'	11° 17' 27"
C87	400.00'	78.83'	S69° 49' 50"E	78.70'	11° 17' 28"
C88	400.00'	78.83'	S58° 32' 22"E	78.70'	11° 17' 29"
C89	400.00'	78.83'	S47° 14' 52"E	78.70'	11° 17' 30"
C90	400.00'	78.83'	S35° 57' 22"E	78.70'	11° 17' 31"
C91	400.00'	78.83'	S24° 39' 51"E	78.71'	11° 17' 31"
C92	400.00'	78.83'	S13° 22' 20"E	78.70'	11° 17' 31"
C93	400.00'	78.83'	S2° 04' 49"E	78.70'	11° 17' 31"
C94	400.00'	48.07'	S7° 00' 29"W	48.04'	6° 53' 06"
C95	400.00'	851.58'	N50° 32' 22"W	699.63'	121° 58' 47"
C96	400.25'	88.19'	N16° 02' 37"E	88.01'	12° 37' 27"
C97	400.25'	91.80'	N26° 55' 34"E	91.60'	13° 08' 27"
C98	400.25'	179.99'	N22° 36' 50"E	176.47'	25° 45' 55"
C99	176.50'	105.73'	S82° 34' 28"E	104.16'	34° 19' 21"
C100	176.50'	156.63'	S39° 59' 25"E	151.54'	50° 50' 46"
C101	176.50'	156.71'	S10° 52' 05"W	151.61'	50° 52' 15"
C102	176.50'	71.97'	S47° 59' 07"W	71.47'	23° 21' 49"
C103	176.50'	30.60'	S64° 38' 02"W	30.56'	9° 56' 00"
C104	176.50'	502.27'	S18° 12' 41"E	349.14'	163° 02' 56"

CURVE TABLE					
CURVE	RADIUS	ARC LENGTH	CHORD	CHORD LENGTH	DELTA ANGLE
C105	176.50'	19.37'	S66° 27' 25"W	19.36'	6° 17' 14"
C106	100.00'	30.19'	N20° 46' 07"E	30.07'	17° 17' 48"
C107	100.00'	1.79'	N11° 36' 31"E	1.79'	1° 01' 35"
C108	330.68'	126.26'	N81° 28' 18"W	125.50'	21° 52' 37"
C109	288.56'	206.44'	N40° 02' 31"W	202.07'	40° 59' 27"
C110	289.54'	206.58'	N10° 52' 51"E	202.23'	40° 52' 45"
C111	176.49'	30.80'	N41° 19' 43"E	30.76'	9° 59' 58"
C112	370.52'	105.86'	S17° 02' 49"W	105.50'	16° 22' 10"
C113	407.28'	104.89'	S29° 50' 50"W	104.60'	14° 45' 21"
C114	165.00'	197.30'	S24° 53' 39"E	165.75'	68° 30' 40"
C115	60.00'	35.35'	N26° 05' 22"E	34.84'	33° 45' 27"
C116	60.00'	12.29'	N88° 48' 36"E	12.27'	11° 44' 23"
C117	60.00'	92.21'	S41° 17' 34"E	83.40'	88° 03' 18"
C118	60.00'	101.19'	S51° 02' 53"W	89.62'	96° 37' 36"
C119	135.00'	161.43'	S24° 53' 39"E	151.98'	68° 30' 40"
C120	30.00'	44.06'	N44° 28' 11"W	40.21'	84° 09' 19"
C121	30.00'	21.85'	N18° 28' 19"E	21.37'	41° 43' 42"
C122	55.00'	37.40'	N58° 48' 52"E	36.68'	38° 57' 24"
C123	55.00'	65.16'	S67° 45' 53"E	61.42'	67° 53' 06"
C124	588.74'	69.61'	S5° 22' 41"W	69.57'	6° 46' 29"
C125	175.72'	139.64'	S11° 56' 13"E	136.00'	45° 32' 00"
C126	135.62'	77.39'	S17° 53' 23"E	76.35'	32° 41' 43"
C127	130.00'	254.33'	S35° 53' 22"E	215.67'	112° 05' 30"
C128	145.00'	101.31'	S0° 08' 27"W	99.26'	40° 01' 53"
C129	50.00'	78.20'	N48° 41' 09"E	70.47'	89° 36' 54"
C130	100.50'	165.37'	N43° 22' 40"W	147.34'	94° 16' 28"

CURVE TABLE					
CURVE	RADIUS	ARC LENGTH	CHORD	CHORD LENGTH	DELTA ANGLE
C131	50.00'	115.95'	S27° 26' 47"W	91.66'	132° 51' 50"
C132	50.00'	37.03'	S17° 46' 11"E	36.19'	42° 25' 53"
C133	220.00'	13.30'	S71° 51' 24"W	13.30'	3° 27' 49"
C134	220.00'	64.29'	S81° 57' 36"W	64.06'	16° 44' 35"
C138	56.50'	16.05'	S73° 34' 30"E	15.99'	16° 16' 26"
C139	280.00'	62.52'	S77° 21' 25"W	62.39'	12° 47' 35"
C140	54.50'	52.81'	N47° 38' 27"W	50.77'	55° 31' 04"
C141	54.50'	15.31'	N83° 26' 53"W	15.26'	16° 05' 49"
C142	155.00'	108.30'	N0° 08' 27"E	106.11'	40° 01' 53"
C143	120.00'	234.76'	N35° 53' 22"W	199.08'	112° 05' 30"
C144	105.00'	51.77'	S13° 41' 24"W	51.24'	28° 14' 50"
C145	205.00'	62.88'	S19° 01' 32"W	62.64'	17° 34' 32"
C146	485.00'	125.90'	S17° 40' 28"W	125.54'	14° 52' 23"
C147	195.00'	72.26'	S14° 29' 43"W	71.84'	21° 13' 52"
C148	59.00'	27.62'	S17° 17' 26"W	27.37'	26° 49' 34"
C149	205.00'	36.77'	N19° 58' 23"E	36.72'	10° 16' 32"
C150	475.00'	123.30'	N17° 40' 28"E	122.95'	14° 52' 23"
C151	215.00'	65.95'	N19° 01' 32"E	65.69'	17° 34' 32"
C152	95.00'	49.33'	N12° 56' 21"E	48.77'	29° 44' 55"
C153	125.62'	71.72'	N17° 51' 55"W	70.75'	32° 42' 31"
C154	185.72'	90.71'	N20° 41' 55"W	89.81'	27° 59' 02"
C156	30.01'	30.74'	S23° 40' 05"E	29.42'	58° 41' 49"
C157	220.00'	13.01'	S12° 58' 52"E	13.01'	3° 23' 15"

LINE TABLE		
LINE #	DIRECTION	LENGTH
L1	N29° 39' 00"W	17.58'
L2	N33° 23' 19"W	28.60'
L3	N86° 35' 51"W	57.92'
L4	N03° 24' 24"E	59.97'
L5	N86° 35' 36"W	5.05'
L6	N03° 24' 09"E	6.02'
L7	N86° 39' 05"W	27.87'
L8	N03° 24' 09"E	140.00'
L9	S06° 35' 51"E	57.92'
L10	N80° 38' 19"W	35.00'
L11	S09° 21' 41"E	128.00'
L12	N03° 30' 22"W	52.67'
L13	N53° 40' 16"W	21.91'
L14	S80° 37' 47"E	60.01'
L15	S09° 21' 41"W	70.00'
L16	S54° 30' 14"E	47.05'
L17	S35° 29' 46"W	87.60'
L18	N54° 30' 04"W	60.95'
L19	S80° 38' 19"E	19.23'
L20	S09° 21' 41"W	75.29'
L21	S09° 21' 41"E	18.31'
L22	S59° 08' 59"E	88.84'
L23	S69° 05' 54"E	23.59'
L24	S80° 38' 19"E	96.88'
L25	N09° 21' 22"E	134.00'