

LOCATION MAP
NO SCALE

LARRY B. & NANCY
A. HOLBEN
D.B. 1565 PG. 1706

LARRY B. & NANCY
A. HOLBEN
D.B. 1565 PG. 1706

SITE STATISTICS:

TOTAL ACREAGE: ±15.8 ACRES
TOTAL NUMBER OF LOTS: 14
GROSS DENSITY: ±0.87 UNITS/ACRE
OPEN SPACE:
PROVIDED: ±2.5 ACRES (15.8%)
EXISTING ZONING: SFPRD (SINGLE FAMILY PLANNED RESIDENTIAL DISTRICT)
SCHOOL DISTRICT: OLENTANGY

DESIGN STANDARDS:

MINIMUM LOT FRONTAGE (BUILDING LINE): 75 FEET (AT BUILDING LINE)
MINIMUM SIDE YARD SETBACK: 12.5 FEET (TOTAL 25 FEET)
MINIMUM REAR YARD SETBACK: 35 FEET
MAXIMUM BUILDING HEIGHT: 35 FEET

NOTES:

- NOTE "A":
ALL OF RAVINE RUN IS IN THE FLOOD HAZARD ZONE AE AND ZONE X AS SHOWN ON THE FEDERAL EMERGENCY MANAGEMENT AGENCY FLOOD INSURANCE RATE MAPS NUMBER 39041C0241K AND 39041C0242K, EFFECTIVE DATES APRIL 16, 2009.
- NOTE "B":
BE ADVISED: A SUB-SURFACE DRAINAGE SYSTEM MAY EXIST ON THIS SITE. THE SYSTEM AND/OR OUTLET IF LOCATED ON THIS PROPERTY MUST BE MAINTAINED AT ALL TIMES.
- NOTE "C":
LOTS SHALL BE GRADED SO AS TO DRAIN SURFACE WATER AWAY FROM FOUNDATION WALLS. THE GRADE AWAY FROM THE FOUNDATION WALLS SHALL FALL A MINIMUM OF 6 INCHES WITHIN THE FIRST 10 FEET.
- NOTE "D":
THE ORANGE TOWNSHIP FIRE DEPARTMENT WILL REVIEW AND APPROVE ALL FIRE HYDRANT LOCATIONS.
- NOTE "E":
ALL STORMWATER DRAINAGE BASINS WILL BE A PART OF THE DELAWARE COUNTY DITCH MAINTENANCE PROGRAM.
- NOTE "F":
ON STREET PARKING SHALL BE RESTRICTED TO ONE SIDE OF THE STREET PER DELAWARE COUNTY STANDARDS. ON STREET PARKING SHALL BE PROHIBITED ON THE SAME SIDE OF THE STREET AS THE FIRE HYDRANTS AND "NO PARKING" SIGNS SHALL BE ERECTED BY THE DEVELOPER. ON-STREET PARKING WILL BE ALLOWED ON THE NON-WATER LINE SIDE OF THE STREET, ONE SIDE OF THE STREET ONLY.
- NOTE "G":
4' WIDE SIDEWALKS SHALL BE PROVIDED PARALLEL TO MEACHAM COURT AS SHOWN ON THE APPROVED PRELIMINARY DEVELOPMENT PLAN BUT NOT ALONG THE CAD.
- NOTE "H":
ORANGE CONSTRUCTION FENCE SHALL BE INSTALLED AND MAINTAINED PRIOR TO AND DURING CONSTRUCTION ALONG ALL OF THE OPEN SPACES.
- NOTE "I":
THE COUNTY ENGINEER'S STANDARDS FOR STORMWATER MANAGEMENT AND SEDIMENTATION CONTROL WILL BE MAINTAINED DURING CONSTRUCTION.
- NOTE "J":
RESERVE 'A' & 'B' SHALL BE OWNED AND MAINTAINED BY THE RIVER BEND HOMEOWNERS ASSOCIATION. RAVINE RUN DRIVE IS A COMMON ACCESS DRIVE AND SHALL BE OWNED AND MAINTAINED BY THE OWNERS OF LOTS 11 THROUGH 14.
- NOTE "K":
MEACHAM COURT IS A PRIVATE STREET AND SHALL BE OWNED AND MAINTAINED BY THE RIVER BEND HOMEOWNERS ASSOCIATION.
- NOTE "L":
APPROVAL OF THIS PLAN BY THE DELAWARE COUNTY REGIONAL PLANNING COMMISSION, THE DELAWARE COUNTY COMMISSIONERS AND/OR ANY OTHER GOVERNMENTAL AUTHORITY SHALL IN NO WAY CONSTITUTE A DEDICATION OR ACCEPTANCE OF THE PRIVATE STREET(S) SHOWN THEREON. AND ALL SUCH PRIVATE STREETS(S) SHALL BE AND REMAIN A PRIVATE ACCESS WAY, AND THE DELAWARE COUNTY REGIONAL PLANNING COMMISSION, THE DELAWARE COUNTY COMMISSIONERS AND EVERY OTHER PUBLIC AUTHORITY, SHALL HAVE NO RESPONSIBILITY OR LIABILITY FOR OR ARISING OUT OF THE CONSTRUCTION, IMPROVEMENT, MAINTENANCE AND/OR USE OF ANY SUCH PRIVATE STREET(S). THE OWNERS OF THESE LOTS AND THEIR SUCCESSORS AND ASSIGNS AGREE TO AND SHALL BE BOUND BY THE FOREGOING PROVISION, WHICH PROVISION SHALL BE DEEMED TO BE AND IS A COVENANT RUNNING WITH THE LAND.
- NOTE "M":
TO THE BEST OF OUR KNOWLEDGE THERE ARE NO CEMETERIES, ARCHEOLOGICAL HISTORIC SITES WITHIN THE LIMITS OF THE PROPOSED DEVELOPMENT.
- NOTE "N":
RAVINE RUN WILL BE DEVELOPED IN ONE PHASE.

BENCH MARKS

(NAVD 88)

- SOURCE:
REF BM #1 THE STATION IS A BRASS TABLET SET IN CONCRETE AND STAMPED "97-057". THE STATION IS LOCATED ON WEST ORANGE ROAD 2000' FEET EAST OF PERRY ROAD AND 12' FEET NORTH OF THE EDGE OF PAVEMENT OF WEST ORANGE ROAD.
ELEV. = 897.75
- BM #1 TOP OF CASTING ON EXISTING SANITARY MANHOLE E-1 ON THE WEST SIDE OF WALDEN COURT AT THE NORTHERLY TERMINUS OF WALDEN COURT.
ELEV. = 907.46

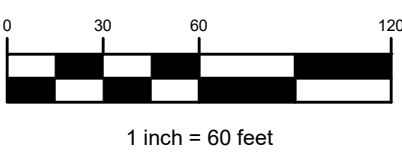
DEVELOPER/OWNER

ENGINEER / PLANNER

CCBI HOMES
155 GREEN MEADOWS DRIVE, SOUTH
LEWIS CENTER, OHIO 43035
(614)846-0052
PAUL@CCBIHOMES.COM

EMH&T
5500 NEW ALBANY ROAD
COLUMBUS, OHIO 43054
TEL: 614-775-4500
FAX: 1-888-775-3648
jlooby@emht.com

GRAPHIC SCALE



REVISIONS	
DATE	DESCRIPTION



CCBI HOMES

155 GREEN MEADOWS DRIVE, SOUTH
LEWIS CENTER, OHIO 43035
(614)846-0052
PAUL@CCBIHOMES.COM

GENOA TOWNSHIP, DELAWARE COUNTY, OHIO
PRELIMINARY PLAN / COMPOSITE UTILITY GRADING PLAN
FOR

RAVINE RUN
INDEX PLAN

LOCATED IN:
FARM LOT 17, SECTION 3, TOWNSHIP 3, RANGE 18

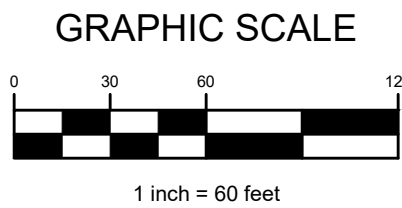
UNITED STATES MILITARY DISTRICT

TOWNSHIP OF ORANGE, COUNTY OF DELAWARE, STATE OF OHIO

Date	Job No.
APRIL 5, 2021	20210262
Scale	Sheet
1"=60'	1/4



LEGEND
SOURCE:
BoA: BLOUNT SILT LOAM, 0 TO 2 PERCENT SLOPES
Gwd1B1: GLYNWOOD SILT LOAM, 2 TO 6 PERCENT SLOPES.
LyE2: LYBRAND SILT LOAM, 18 TO 25 PERCENT SLOPES, ERODED



J:\2021\0262\DWG\0262.dwg (0262.dwg) - Preliminary Plan 2 Existing Conditions Plan.dwg Last Saved By: sghana, 4/5/2021 8:20 AM

REVISIONS	
DATE	DESCRIPTION

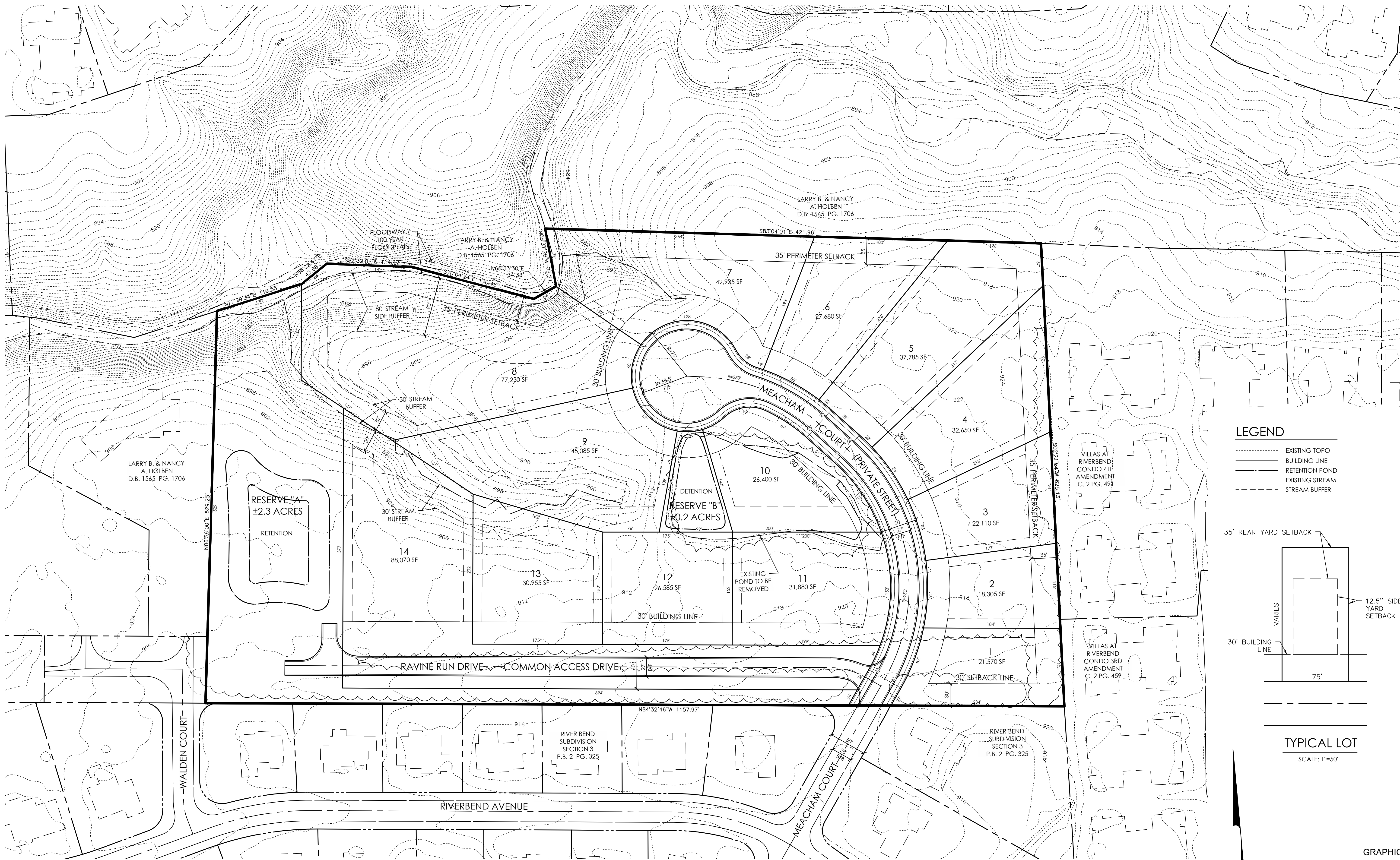
EMHT
Evans, Mechwart, Hambleton & Tilton, Inc.
Engineers • Surveyors • Planners • Scientists
5500 New Albany Road, Columbus, OH 43254
Phone: 614.775.4500 Toll Free: 888.775.3448
emht.com

CCBI HOMES
155 GREEN MEADOWS DRIVE, SOUTH
LEWIS CENTER, OHIO 43035
(614)846-0052
PAUL@CCBIHOMES.COM

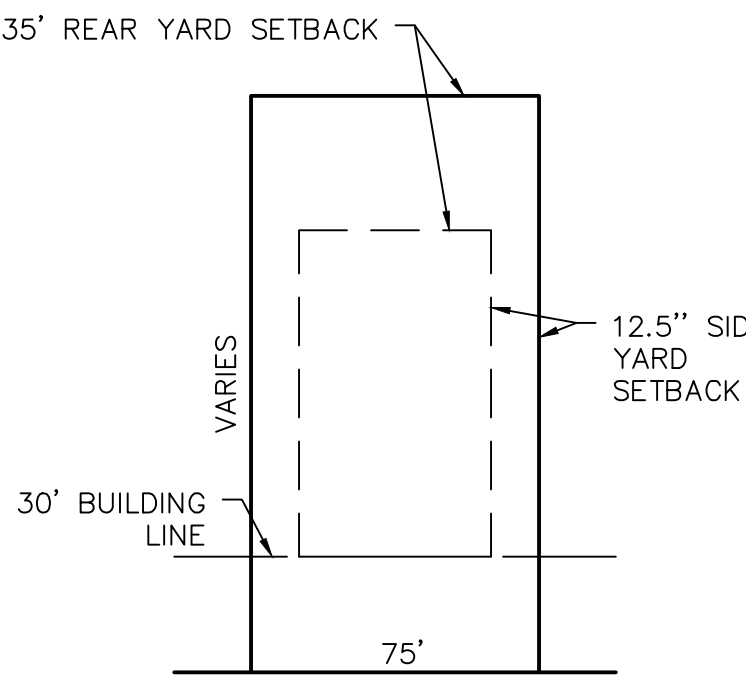
GENOA TOWNSHIP, DELAWARE COUNTY, OHIO
PRELIMINARY PLAN / COMPOSITE UTILITY GRADING PLAN
FOR
RAVINE RUN
EXISTING CONDITIONS PLAN

LOCATED IN:
FARM LOT 17, SECTION 3, RANGE 18
UNITED STATES MILITARY DISTRICT
TOWNSHIP OF ORANGE, COUNTY OF DELAWARE, STATE OF OHIO

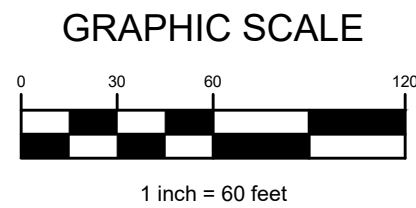
Date	Job No.
APRIL 5, 2021	20210262
Scale	Sheet
1"=60'	2/4



- LEGEND
- EXISTING TOPO
 - BUILDING LINE
 - RETENTION POND
 - EXISTING STREAM
 - STREAM BUFFER



TYPICAL LOT
SCALE: 1"=50'



J:\2021\02262.Dwg\02262 Preliminary Plan\3 Site Plan.dwg, Last Saved By: schara, 4/5/2021 8:17 AM

REVISIONS	
DATE	DESCRIPTION

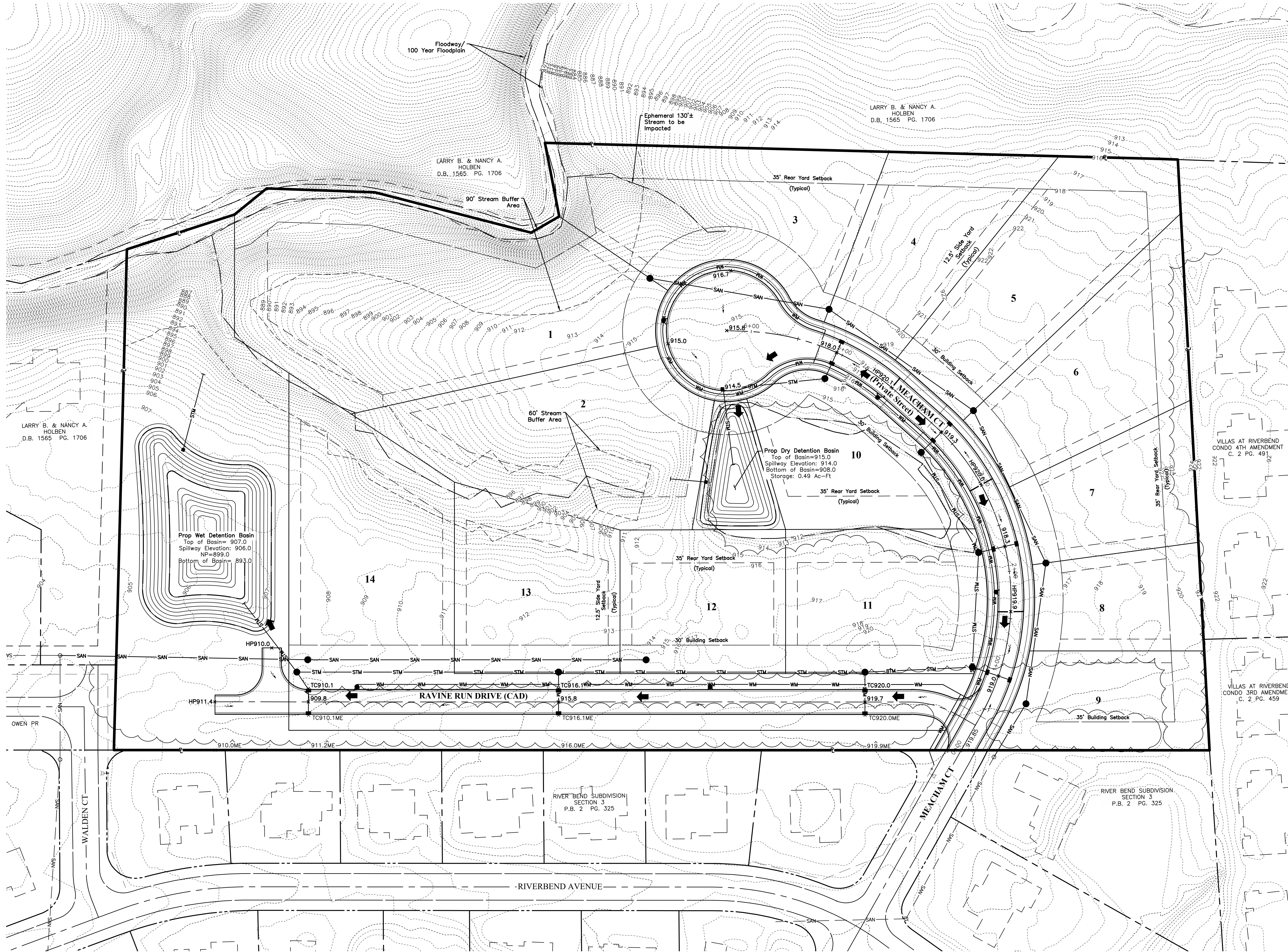
EMHT
Evans, Mechwart, Hambleton & Tilton, Inc.
Engineers • Surveyors • Planners • Scientists
5500 New Albany Road, Columbus, OH 43254
Phone: 614.775.4500 Toll Free: 888.775.3648
emht.com

CCBI HOMES
155 GREEN MEADOWS DRIVE, SOUTH
LEWIS CENTER, OHIO 43035
(614)846-0052
PAUL@CCBIHOMES.COM

GENOA TOWNSHIP, DELAWARE COUNTY, OHIO
PRELIMINARY PLAN / COMPOSITE UTILITY GRADING PLAN
FOR
RAVINE RUN
SITE PLAN

LOCATED IN:
FARM LOT 17, SECTION 3, TOWNSHIP 3, RANGE 18
UNITED STATES MILITARY DISTRICT
TOWNSHIP OF ORANGE, COUNTY OF DELAWARE, STATE OF OHIO

Date	Job No.
APRIL 5, 2021	20210262
Scale	Sheet
1"=60'	3/4



GRAPHIC SCALE
0 25 50 100
1 inch = 50 feet

UTILITY LEGEND

EXISTING

- STM Storm Sewer
- SAN Sanitary Sewer
- WM Water Main
- E Underground Electric
- OHE Overhead Electric
- C Underground Communication
- OHC Overhead Communication

PROPOSED

- STM Storm Sewer
- SAN Sanitary Sewer
- WM Private Water Main

J:\2021\02262.Dwg\02262 Preliminary Plan V4 Utility & Grading Plan.dwg, Last Saved By: jshara, 4/5/2021 2:51 PM

REVISIONS	
DATE	DESCRIPTION

EMHT
Evans, Mechwart, Hambleton & Tilton, Inc.
Engineers • Surveyors • Planners • Scientists
5500 New Albany Road, Columbus, OH 43254
Phone: 614.775.4500 Toll Free: 888.775.3448
emht.com

CCBI HOMES
155 GREEN MEADOWS DRIVE, SOUTH
LEWIS CENTER, OHIO 43035
(614)846-0052
PAUL@CCBIHOMES.COM

GENOA TOWNSHIP, DELAWARE COUNTY, OHIO
PRELIMINARY PLAN / COMPOSITE UTILITY GRADING PLAN
FOR
RAVINE RUN
SITE UTILITY & GRADING PLAN

LOCATED IN:
FARM LOT 17, SECTION 3, TOWNSHIP 3, RANGE 18
UNITED STATES MILITARY DISTRICT
TOWNSHIP OF ORANGE, COUNTY OF DELAWARE, STATE OF OHIO

Date	Job No.
APRIL 5, 2021	20210262
Scale	Sheet
1"=50'	4/4