

Contact Information

Property Owner(s): Richard R. & Christina L. Lehner
2369 Troy Road, Delaware, Ohio 43015
(740) 404-0534 phone

Site Planner: Joe Clase, AICP, Plan 4 Land, LLC
1 South Harrison St, P.O Box 306, Ashley, Ohio 43003
(833) 752-6452 phone/fax

Surveyor: James Bryant Abt, PS
8120 St. Rt. 28, Leesburg, OH 45135
(937) 558-6671 phone

Civil Engineer: Nathan Harrington, P.E., Brack Engineering, LLC
5659 Greystone Lane, Hilliard OH 43026
(614) 506-3662 phone

Site Information

Jurisdiction: Radnor Township, Delaware County, State of Ohio

Location: Dildine Road, Delaware, Ohio 43015
3,000 feet east of River Road
7,000 feet west of St. Rt. 203

Parcel No.: Part of 520-180-01-010-000 & 520-180-01-012-000
23.787 acres

Area: 23.787 acres

School District: Buckeye Valley Local Schools

Floodplain: Site is located within Zone X (Area of Minimal Flood Hazard), Community Panel No. 39041C0085K, effective on April 15, 2009.

Soil Types: BoA, GwB, MoB

Critical Resources: There are no known cemeteries, historical sites or archeological significance on site or within 200 feet of it's boundaries. There is a wetland onsite.

Development Information

	Existing	Proposed
Land Use:	Agriculture	Single-Family Residential
# of Buildable Lots:	One (1)	Four (4)
Non-buildable Lots:	N/A	N/A
Area in ROW/CAD:	0.083 acres	3.522 acres
Gross Density:	One (1) unit per 23.787 acres	One (1) unit per 5.947 acres
Net Density:	One (1) unit per 23.704 acres	One (1) unit per 5.066 acres
Phases:	N/A	One (1)

Utility Information

Electric: American Electric Power (Ohio AEP)

Water: Del-Co Water Company

Sewer: On-site Septic

Gas: Columbia Gas of Ohio

Notes: Soil Report by Mitch Strain dated February 17, 2021 on file at DGHD.

Zoning Information

Classification: Farm Residential (FR-1)

Lot Size: 2 acre minimum, exclusive of CAD

Frontage: N/A

Front Setback: 90 foot minimum

Side Setback: 25 foot minimum

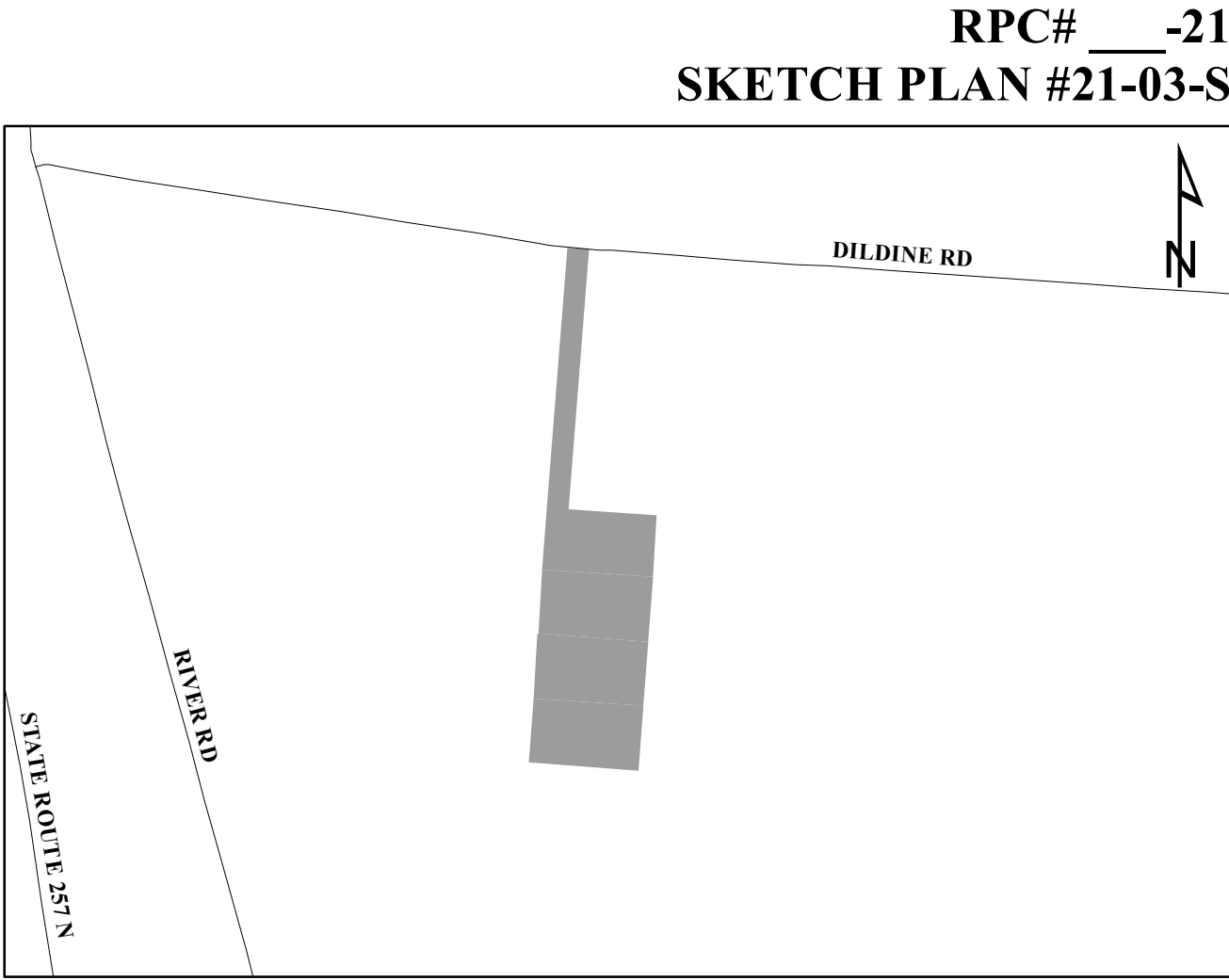
Rear Setback: 80 foot minimum

Building Height: 35 foot maximum

Coverage: n/a

Note: Current standards shown for reference only. All construction must be compliant with the then current Zoning Resolution.

- LEGEND**
- Survey Boundary
 - Minimum Zoning Setbacks
 - Limits of Disturbance
 - Existing Limits of Woodland
 - Building Pads
 - Preliminary Wetland Designation
 - Existing Road Right-of-way
 - Road Centerline
 - 100 Year Floodplain
 - Proposed Grading
 - 1' Topography
 - Existing Buildings
 - 10' Septic Setbacks
 - Potential Septic Locations
 - Soil Test Locations
 - Driveway Surface
 - Road Pavement
 - Property Lines
 - Property Lines (PID)
 - Soil Types
 - Electric Service Lines
 - Existing 4" Del-Co Water Line
 - PROPOSED WATER SERVICE LINE
 - 60' CAD Easement
 - 30' Drainage Easement
 - 30' Dedicated Road Right-of-Way
 - 20' Sanitary Easement



The owners, their successors, heirs or assigns of the herein delineated lots agree said lot(s) shall be connected to said central sewer. Acceptance of title to a delineated lot hereby reserved for the maintenance of drainage facilities, including but not limited to shall constitute waiver of further notice of hearing on this requirement. This covenant shall be included to title for said lot(s). All fees and cost associated with the connection to central sewer are the responsibility of the homeowner at the time of installation and connection.

The proposed sewage treatment system (STS) area(s) complies with §3701-29 of the Ohio Administrative Code. Depicted STS fields are 35' wide and 200' long to accommodate a four (4) bedroom system. Unless otherwise noted, all STS have been evaluated as a septic tank with aerator to mound system design. Alternative designs may be feasible as deemed appropriate by the designer and/or DGHD. Designer plan for septic system must be approved by the DGHD. Driveway and utility locations through lots are not to run over proposed sewage treatment areas (primary or secondary) unless alternative areas are approved by the DGHD. Trees falling within STS area(s) must be clear-cut before installation.

DRAINAGE: Within the areas of land designated "Drainage Easement" an easement is hereby reserved for the maintenance of drainage facilities, including but not limited to ditches, swales and subsurface drainage for the benefit and use of the public.

CAD MAINTENANCE: A common access driveway maintenance agreement will be recorded prior to final plat being recorded. The drive shall be built in accordance with subsequently approved engineering plans including the pictured CAD sign.

DISCLAIMER
Aerial photography, soil types and property owner information were provided by Delaware County Auditor's Office. Survey information provided by the surveyor of

